

- Prohibit development on hydric soils.
- Require the use of "green-technology" storm water management practices.
- Require the assessment of a project's TMDL nutrient loading rate through use of DNREC's Nutrient Load Assessment protocol or the land-use loading rate model developed by the Chesapeake Bay program (with calculations performed by a consulting engineering firm or licensed engineer on behalf of the applicant). These can aid the design the most environmentally effective strategies. The Chesapeake Bay model report can be found at: <http://east.chesapeakebay.net/Documentation/ModelDocumentation>

TOWN RESPONSE – These will be considered and reviewed during the implementation of specific items within the Plan during the creation and coordination of new and/or updated regulations. This would include intergovernmental coordination and a public comment period prior to adoption.

State Historic Preservation Office - Contact: Carlton Hall 302-736-7404

- The SHPO office would be interested in reviewing a copy of the report of the survey and seeing and what criteria was used to make the determination that there are no buildings within the town limits that qualify for potential National Register listing. Our staff would be willing to conduct a site to Millville to assist the Town.
- Our office also suggests the Town look into the possibility of becoming a CLG to protect future historic buildings.
- Note also that the new statewide historic preservation plan, *Partners in Preservation: Planning for the Future, Delaware's Historic Preservation Plan 2018-2022*, is now available online at: <https://history.delaware.gov/pdfs/2018-2022DelawareSHPOPlan.pdf> (single-page version for printing also available). The new plan emphasizes partnering to achieve common goals and connecting with other planning efforts. SHPO encourages all municipalities to consider how the goals, strategies and actions outlined in the new plan may support and be coordinated with their local planning efforts.

TOWN RESPONSE – These will be considered and reviewed during the implementation of specific items within the Plan as well as continual intergovernmental coordination.

State Housing Authority - Contact: Karen Horton 739-4263

- The following are examples of strategies to help with affordable housing that the town should consider. They are particularly helpful in strong market areas such as Millville:
 - Provide additional housing opportunities within the existing housing stock such as permitting accessory dwelling units in residential areas as a matter of right. This can help residents age in place and address some of the need for seasonal housing.
 - Encourage the provision of employee-occupied rental units within commercial and public facilities.
 - Create an inventory of properties potentially suitable for affordable housing.
 - Adopt inclusionary zoning to ensure that any new residential development includes a percentage of affordable housing.
 - Consider long-term affordability programs and tools to preserve public investment and to ensure a sustainable affordable housing stock. This can be through partnering with the Diamond State Community Land Trust (DSCLT). This partnership could be through donated land within the Town to the DSCLT or contractual agreements for DSCLT to monitor long-term affordability restrictions on units set aside by the Town.
 - Prepare and approve *reasonable* Affordable Housing Guidelines to provide guidance to developers on the types of housing proposals that will be acceptable to the community.
 - Convert existing housing to long-term affordability by exploring various program models for converting existing housing to have long-term affordability restrictions.

TOWN RESPONSE – These will be considered and reviewed during the implementation of specific items within the Plan as well as continual intergovernmental coordination.

Department of Agriculture - Contact: Scott Blaier 698-4532

- o Page 64 - The Department of Agriculture (DDA) appreciates the town's recognition and support of the Agricultural Lands Preservation Program.
- o Regarding the town's plans for future annexation and growth, please take note of properties participating in the state's Agricultural Lands Preservation Program. There are some properties currently enrolled in the program south and west of the town's current municipal boundary. The department encourages the town to identify these properties as preserved on the town's maps where appropriate. The latest GIS layer showing those properties are available through the department's GIS Coordinator, Jimmy Kroon (698- 4533).

TOWN RESPONSE – The Town will continue to coordinate with available State data as it becomes available and it updated. The Town recommends coordinating mapping layer data with the First Map program; therefore, it is readily available for the Town and other users.

Approval Procedures:

- o Once all edits, changes and corrections have been made to the Plan, please submit the completed document (text and maps) to our office for review. **Your PLUS response letter should accompany this submission.** Also include documentation about the public review process. In addition, please include documentation that the plan has been sent to other jurisdictions for review and comment, and include any comments received and your response to them. Substantial changes to this draft could warrant another PLUS review.

TOWN RESPONSE-The Town is submitting the latest draft with the noted updates with this letter; however, the final Plan will include the State's acceptance letter and the Governor's certification letter as well as final formatting for completion. This will be sent as required to OSPC.

- o Our office will require a maximum of 20 working days to complete this review.
 - o If our review determines that the revisions have adequately addressed all certification items (if applicable), we will forward you a letter to this effect.
 - o If there are outstanding items we will document them in a letter, and ask the town to resubmit the plan once the items are addressed. Once all items are addressed, we will send you the letter as described above.

TOWN RESPONSE-Noted

- o Once you receive our letter stating that all certification items (if applicable) have been addressed, the Planning Commission and Council should adopt the plan pending State Certification. We strongly recommend that your Council adopt the plan by ordinance. The ordinance should be written so that the plan will go into effect upon receipt of the certification letter from the Governor.

TOWN RESPONSE-Noted and the Town is adopting the Plan via Resolution as recommended by the Town Attorney and the previous approvals.

- o Send our office a copy of the adopted plan along with the ordinance (or other documentation) that formally adopts your plan. We will forward these materials to the Governor for his consideration.

TOWN RESPONSE-Noted and will comply

- o At his discretion, the Governor will issue a certification letter to your Town

TOWN RESPONSE-Noted

- o Once you receive your certification letter, please forward two (2) bound paper copies and one electronic copy of your plan to our office for our records.

TOWN RESPONSE-Noted and will comply

Please feel free to contact me with any concern or questions anytime.

APPENDIX F

PUBLIC COMMENTS

Comments submitted by Valerie Faden, 24 Beach Plum Drive

P14. Vision & goals state that there is an intention to grow in a manner consistent with town values but there is no list of what those values are – recommend a list of those values be added to the Vision & goals. Also there is the intention to protect the quality of environmental resources but the subsequent recommendations do not include this specific, important aspect of the visions and goals for the town until Chapter 8.

For example:

1. Pages 13 goals & recommendations do not mention coordination with DNREC or any environmental preservation agency or organization – recommend adding section 1-10 to promote, encourage and consult with environmental protection agencies and with respect to intergovernmental coordination
2. Page 17 goals & recommendations don't include environmental protection – recommend adding an item at 2-7 to include environmental preservation /protection for streetscape improvements
3. Pages 26-27 goals & recommendations don't include environmental protection – recommend adding a goal at section 3-4 to state that that the provision of community services should be achieved with the least harmful environmental impacts to public health, wetlands, watersheds, natural habitats in Millville and a recommendation at section 3-6 should be added to promote and encourage renewable energy as a means to achieve the protection of the quality of environmental resources consistent with the overall vision & goals in Millville.
4. Page 44 - An economic development goal should be added at section 5-5 to develop and environmentally friendly designs, the preservation of trees and open spaces, and the incorporation of renewable energy alternatives as economic development elements ensuring the protection of the quality of environmental resources within the Town of Millville. A recommendation should be added at section 5-3 that to mitigate the potential harmful public health and environmental impacts of increased economic development, natural resources conservation, green infrastructure (DNREC) environmentally friendly designs, natural buffers and water management strategies should be promoted and encouraged wherever possible. Add section 5-6 to adopt agricultural/open space zone policies that ensure developed parcels are large enough to preserve the character and function of farms and environmentally sensitive lands. Add section 5-7 for Town of Millville to partner with adjoining towns, businesses and/or civic groups for environmental resource preservation and sustainability projects and small beautification projects that may include storm water management, flower plantings or holiday decorations. Add section 5-8 to prohibit development on previously undeveloped land where the elevation is lower than the elevation of the 100-year flood as defined by FEMA. Add section 5-10 that street lights and commercial lighting directs light to the streets to preserve dark skies.
5. Page 53 add a goal at section 6-9 to ensure that there is an adequate supply of bike racks or other bike parking facilities within the Atlantic Avenue business district. Add a goal at 6-10 stating that pedestrian, bicycle, transit, and green infrastructure is required to be considered for inclusion in all new road construction, reconstruction, or maintenance projects. AMEND recommendation 6-3 for the Capital improvements plan to include green infrastructure and electric vehicles.
6. Page 63 recommend adding section 8-12 to promote and encourage the commercial and residential use of renewable energy sources and green infrastructure through the development

of property tax abatement programs. Add a recommendation at section 8-13 to Conduct a municipal energy use inventory and identify investments to improve energy efficiency. Add a recommendation at section 8-14 to adopt a community-wide goal for improving energy efficiency and track progress toward the goal over the long term. Add a recommendation at 8-15 for the Town of Millville to produce energy from renewable sources as a part of standard operations and/or as part of a community renewable energy project.

7. At page 65, add a goal 9-4 Section for the Town of Millville to incorporate the use of solar energy in the proposed Millville Town Park building.
8. At page 70, incorporate the use of green infrastructure into recommendation 10-1.
9. At page 80, amend goal 11-2 as follows: **MANAGE FUTURE DEVELOPMENT IN A MANNER THAT PROMOTES** the preservation and protection of environmental resources as well as **THE SMALL TOWN CHARACTER DESIRED BY THE RESIDENTS**. Amend 11-3 as follows: As Millville grows, it will be important for the Town to review its ordinances and to review the services it provides to ensure that the Town keeps pace with services demanded by growth *and to ensure the balance between growth and the preservation of farmland and open space is maintained.*

x
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APPENDIX G

ADOPTION ORDINANCE

ORDINANCE 20-04

AN ORDINANCE OF THE TOWN OF MILLVILLE, DELAWARE, APPROVING AND ADOPTING THE 2019 TOWN OF MILLVILLE COMPREHENSIVE PLAN

WHEREAS, Title 22, Section 702 of the Delaware Code requires Delaware municipalities to prepare a Comprehensive Plan, for the purposes of encouraging the most appropriate uses of the physical and fiscal resources of the municipality and coordinating municipal growth, development and infrastructure investment actions with those of other municipalities, counties and the State;

WHEREAS, Section 31 of the Charter of the Town of Millville authorizes the Town Council to exercise its powers in the interest of good government and the safety, health, and public welfare of the Town, its inhabitants and affairs, including but not limited to the power to provide for and preserve the health, peace, safety, cleanliness, ornament, good order and public welfare;

WHEREAS, Delaware's Office of State Planning Coordination provides guidance to municipalities in order to effectuate the goal of having well-drawn and executed Comprehensive Plans for all Delaware counties and municipalities, including the provision that Comprehensive Plans be approved and certified by the Governor of the State of Delaware upon their completion, and further requires that certified Comprehensive Plans be reviewed on a five-year cycle;

WHEREAS, the Town of Millville's Comprehensive Plan was last updated in 2009 and requires revision to account for physical changes and expansion which have since occurred in both the built and natural environments of the community;

WHEREAS, the Town of Millville Comprehensive Plan Committee has prepared and approved, in consultation with the public, interested parties, and government agencies, a 2019 Comprehensive Plan for the Millville Area, including the Town of Millville and adjacent areas, which articulates an overall vision for the community's future, including goals, objectives, policies and recommendations for achieving that vision and has conducted a duly advertised public hearing for public review and comment on June 11, 2019, and recommends approval and adoption of The 2019 Town of Millville Comprehensive Plan by Ordinance of the Mayor and Town Council of Millville;

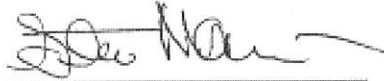
WHEREAS, The 2019 Town of Millville Comprehensive Plan will be the foundation for revision or improvement of the Town's Zoning Ordinance, Subdivision Ordinance, Housing codes, potential annexation plans, and other implementation tools;

TOWN OF MILLVILLE 2019 COMPREHENSIVE PLAN UPDATE

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Town Council of the Town of Millville, Sussex County, Delaware:

To serve the purposes contained in Title 22, Section 701 of the Delaware Code and Section 31 of the Charter of the Town of Millville, specified above, The 2019 Town of Millville Comprehensive Plan is hereby approved and adopted and made effective as the Comprehensive Plan for the Town of Millville, superseding all previous Plans, pending certification by the Governor, on this 8th day of October, 2019.

SEAL:

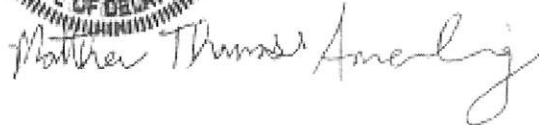
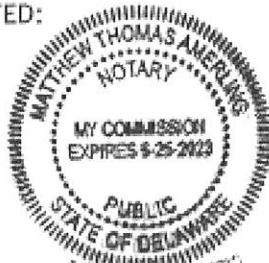


STEVE MANERI, MAYOR

ATTESTED:



RON BELINKO, SECRETARY



APPENDIX B

SWOT ANALYSIS

Strengths

Weaknesses

Opportunities

Threats

STRENGTHS

Characteristics of the Town that give it an advantage.

1. Close to the beach
2. Major roadway
3. Growth of the Town
4. Real estate value & tax rate
5. New Town park (once it gets developed)
6. Low crime rate
7. Location – close to the beach yet far enough away to get some relief from seasonal congestion and provide affordable housing.
8. Commercial variety – large commercial stores, Giant, Weis, Petco, family owned businesses and small specialty shops all located within the Town.
9. Millville Medical Services, both current and future, and MVFD with EMS.
10. Size of the Town of Millville – small enough that local government is relevant and accessible.
11. Active volunteers
12. Lower rates of violent property crimes, safe neighborhoods and streets.
13. Successful public school.
14. Proximity to good quality health care.
15. Range of housing choices at reasonable price.
16. Low taxes
17. Close to beaches
18. Recreational opportunities/public parks/open space.
19. The Town park – specifically playgrounds, challenge course, community building, pickleball courts & pavilion (will be great for events)!
20. Ability for more annexation – there is land to the west & south that could annex into Town; however, there is a “tightrope walk” in not making Town too big.
21. The Town’s “small town charm” – we often hear from resident transplants how nice, quiet & quaint the Town is.
22. Close enough to beach, but not too close.
23. Low property tax – *very* attractive to potential buyers.
24. Low crime, cost-effective law enforcement/police coverage.
25. Friendly home town feel
26. Schools
27. Safe place to raise children/family
28. Location (including green space)
29. Events
30. Town staff
31. Gradual development
32. Location
33. Not over-populated
34. Current tax structure
35. Sussex County

36. Access to health care
37. Having money in the bank
38. 4 miles from beach, always looking for future annexation
39. Residents that are moving into our town are well educated, involved in politics, or have a lot of talent that could help the town
40. Millville will be getting a town park, starting sometime this year
41. Millville has its own town government, also its own building regulations, codes
42. Majority of town residents have water, sewage infrastructure availability
43. Beebe Emergency Room
44. Small town feel, very homey, friendly people, off main highway
45. Local fire department/Town Manager excellent, Mayor & Town Council very good
46. Close to beach, close to hospitals
47. Available land to enhance resident's lifestyles
48. Town is well run and seems to be in good financial condition
49. Own fire department
50. Close to beach
51. Beebe Medical Center is really needed to accommodate the growing population. Beebe will also attract additional specialty medical facilities which we currently lack in this area.
52. Millville has an excellent fire department and EMS.
53. Property taxes are low.
54. Close to the beaches.
55. Town has high standards/codes that keep property values up.
56. Variety of local businesses.

WEAKNESSES

Characteristics of the Town that place it at a disadvantage.

1. No transportation to the beach (trolley)
2. No Town “center” where people can meet and walk – need to drive everywhere
3. Lack of good restaurants and other retail services – no social or cultural amenities
4. Need better “entering/exiting” Millville town signs throughout town (no one knows where the borders are!). Maybe a public/business partnership would work.
5. Infrastructure improvements not keeping up with residential growth.
6. Town Elections. Too many years with no true elections due to number of candidates being equal to number of vacancies.
7. Small size of local government, results in only 2 or 3 people making decisions due to recusals citing conflicts of interest.
8. Location: being a main thoroughfare to Bethany Beach. Route 26 splitting the Town.
9. The Town will have a finite tax base when Developments are completed. It will be hard in the future to provide services without tax increases.
10. Character of the Town needs to be stronger and more evident to residents and non residents, especially along Route 26.
11. Summer traffic
12. No police department
13. No public works
14. We do not have a movie theater
15. Retail choices
16. No public works department – this will certainly come as a disadvantage once the park is up and running.
17. No “town center” with store fronts, but not much can be done at this point.
18. No “unifying center” – hopefully, the park’s community building will provide a place for community to come together for fun events/programs.
19. No beach shuttle service for public.
20. No sidewalks leading to park.
21. Size
22. Property crime
23. Shopping (mall) location
24. House maintenance
25. People from out of state
26. Congestion
27. Need for more Town sponsored services (police, public works, roads)
28. Changing to meet expectations of others
29. No police department but as population grows we have to look into it
30. We need more commercial building: stores, restaurants
31. Should look into a recreation department
32. More say about our boundaries with County
33. More power to remove unsightly sites
34. As the Town grows, we will need a police presence other than renting State Police

35. Buildings on Rt. 26 need a facelift
36. Should we consider help for Mr. Evans – part time/overtime/other
37. Need bus transportation to all communities
38. Summer traffic
39. Roads – heavy traffic in summer.
40. No town police department. With full time residents increasing a police force will be needed soon.
41. Internet/cable is not available in all communities. Mediacom is the WORST!

OPPORTUNITIES

Elements that the Town could use to its advantage.

1. Increase in housing/population
2. Workshops to attract new business
3. When the new park has been completed, it should be used for social/holiday events, festivals, etc.
4. When new businesses are approved, part of the approval process should include infrastructure improvements.
5. Small Town so could work more closely with Developers to incorporate Town vision and preservation goals. Consider adopting Developer Standards (similar to the Unified Development Code of New Castle County).
6. Increase in new residents broadens the skill sets available to the Town through use of committees and volunteerism.
7. Partnerships with neighboring Towns to enhance cultural resources preservation and other opportunities.
8. The new Town Park could provide opportunities for residents to come together as Millville residents vs. individual Development residents.
9. Since much of the Town is under development, there is an opportunity to “make a statement” on natural resource preservation. We could be the example other Towns follow!
10. Small town feeling
11. We should have more cultural arts center
12. Putting more annual events.
13. Public transportation.
14. Grants, state-funded (USDA federal Community Facilities Grant) – monitor for grants ranging from trees/plants to construction.
15. Beautification of Town park and/or Town Hall – Town Hall looks great in spring/summer with flowers, trees; should do the same with park.
16. More space for possible annexation.
17. Try and restart the farmers’ market (hopefully when park is up and running).
18. Maybe look into a central water/sewer system.
19. Park
20. Location in relationship to events/resort activities
21. Planning for future
22. Learning from others
23. Location
24. With Beebe coming down, jobs will open. Also more doctors in the area
25. More commercial businesses, more jobs, shopping, and dinner. Keeping money in town.
26. Municipal transportation or shuttle service to beach, shopping, doctors appointments, etc.
27. Low taxes
28. Keep a good working relationship with bordering towns
29. Open space
30. Clean up Rt. 26
31. Shuttle bus (from park to all of Millville) summer hot spots
32. New park sooner?
33. Monthly entertainment in new park



34. Park events: outdoor movie night, health fairs for seniors, street/block party, community yard sale, sporting competitions (similar to the Olympics), car show with oldies music, “meet your local merchants” event (only local businesses participate).
35. Festivals: BBQ competition, food festivals in conjunction with area restaurants, arts/crafts festivals in addition to our Holiday Market, beer/wine festivals, music festivals (bluegrass/jazz/oldies, etc.), festival geared to children.

THREATS

Elements that could cause trouble for the Town.

1. Additional traffic will necessitate more traffic signals on Route 26 (Windmill & Rt. 26).
2. Town rental policies? With the proximity to the each, bad rentals could be an issue.
3. Illegal dumping is starting and should be addressed before it gets out of hand.
4. New businesses need to be attracted in order to keep low tax rate.
5. Over Development could result with in high density housing areas and more housing units with little open space, which impact natural resources.
6. A small Town equals a small voice in issues facing the County and State.
7. Route 26 growth and development could overwhelm the desired “small Town heritage and character” as stated in the Comprehensive Plan goals.
8. As the Town grows the opportunities for crime, traffic, and wildlife issues increase.
9. A downturn in the economy resulting in Developers not completing planned communities.
10. Total number of jobs per capita
11. Changes in retailing, some existing shopping centers struggle.
12. Traffic flow on Rt. 26 as well as to park (including foot/walking/pedestrian traffic).
13. Too much growth – can lead to overcrowdedness.
14. While a police force sounds good on its face, it would cause a massive, drastic surge in increasing taxes.
15. Insufficient surveillance of park, no one to supervise park.
16. Crime – specifically with steady increase need for drugs.
17. Crime
18. Housing maintenance/abandoned homes/buildings
19. Over population
20. Drugs
21. Raising taxes and community services
22. Gridlock during summer season
23. Growing population – there will be more crime
24. Town has to look into hiring more employees in future
25. How does the town keep the roads clean
26. Big box retailers / traffic / crime
27. Expansion of Rt. 17
28. Apartment complex
29. Need full time police
30. Basketball courts
31. Many people during summer months
32. Work with Millville local businesses. Keep business license cost reasonable or those businesses that are located within the limits. There are also many business owners who have complained about signage limitations.

APPENDIX C

SURVEYS

1. Community Survey
2. Business Survey
3. Results

Town of Millville Comprehensive Plan Community Survey



The Town of Millville has experienced growth in both population and housing units since 2010, almost tripling its population and issuing over 850 residential building permits. A number of commercial retailers have also developed properties during this time period.

To better understand this growth, the Town of Millville is updating its Comprehensive Plan, which is an official statement about the Town’s future that is used to direct future development decisions. It is required by State law and is certified by the Governor. This survey contains questions on a variety of issues related to the Town including land use, housing, transportation, utilities, town and community services, economic development, recreation, and other quality of life issues. As a resident, land owner, or visitor to the Town, **we need your opinion!** Your input is vital as we complete the Plan.

Please take a few minutes to respond to the following questions by August 15, 2018.

Citizen Profile					
1. My age is:	18-29	30-39	40-49	50-59	60+
2. I am currently retired:	Yes			No	
3. I am a permanent resident of Millville:	Yes			No	
a. I have been a permanent resident in Millville for:	0-5 Years	6-10 Years	10+ Years		
b. I would describe my residence as:	Single-Family	Townhouse	Duplex	Other	
<i>If you answered “yes” to question 3, please skip question 4 and 5.</i>					
4. I am a seasonal resident of Millville:	Yes			No	
a. I have been a seasonal resident in Millville for:	0-5 Years	6-10 Years	10+ Years		
b. I plan on becoming a permanent resident :	Yes			No	
c. When do you plan on becoming a permanent resident :	0-5 Years	6-10 Years	10+ Years		
5. I am a non-resident landowner in Millville:	Yes			No	
a. I have been a non-resident landowner in Millville for:	0-5 Years	6-10 Years	10+ Years		
b. I plan on developing my land in Millville:	Yes			No	
c. I plan on developing my land in:	0-5 Years	6-10 Years	10+ Years		
6. I work in the Town of Millville:	Yes			No	
Opinions on Growth and Land Use					
	Strongly Agree	Agree	Neutral	Disagree	Strongly Disagree
7. The Town should increase its growth area and population base:					
8. Development should be encouraged primarily within the current boundaries:					
9. The Town should seek to annex new areas of land adjacent to the current Town boundaries:					
10. Development should be balanced with protection of farmland and open space:					
11. Millville should annex gaps (enclaves) within the current Town boundary:					

**Town of Millville Comprehensive Plan
Community Survey**



		Far Too Many	Slightly More than Enough	Enough	Slightly Less than Enough	Far Too Little
Housing						
12. How do you feel about the current amount of various housing types in Millville:						
a.	Apartments/Multi-Family					
b.	Townhouses					
c.	Single-Family Homes					
d.	Mixed-Use: Residential on top of Commercial					
Commercial and Industrial						
13. How do you feel about the current amount of various commercial and industrial types in Millville:						
a.	Single Detached Retail and Service Buildings					
b.	Multiple Attached Retail Service Buildings					
c.	Large Single Retail Chain Store					
d.	Shopping Complexes (multiple stores anchored by a large store)					
e.	Mixed commercial, business uses and office					
f.	Offices, research and development facilities					
g.	Building supply, contractor yards, equipment storage					
h.	Light Industrial Assembly					
i.	Storage units and warehouse					
Town Character						
17. The Town of Millville should be promoted as a:						
a.	Bedroom beach community:		Yes		No	
b.	A live-work community:		Yes		No	
c.	A retirement community:		Yes		No	
d.	Retail and economic hub:		Yes		No	
e.	Resort destination:		Yes		No	
f.	Other:					

**Town of Millville Comprehensive Plan
Community Survey**



Transportation											
	Strongly Agree	Agree	Neutral	Disagree	Strongly Disagree						
17.	There should be clearly definable sidewalk, trail and bike paths:										
18.	The pedestrian system should connect with existing and proposed developments:										
19.	The Town should work with neighboring municipalities to provide connection for pedestrian and bicyclist traffic:										
20.	There should be a form of seasonal bus or trolley service to the beach:										
Views on City Resources and Services											
						Highest			Lowest		
21.	The following services are currently not offered by the Town of Millville. Please rank the following services from highest priority (1) to lowest priority (10): <i>(circle one for each item)</i>										
a.	Town Library	1	2	3	4	5	6	7	8	9	10
b.	Town Police Force	1	2	3	4	5	6	7	8	9	10
c.	Town Trash Service	1	2	3	4	5	6	7	8	9	10
d.	Public Park	1	2	3	4	5	6	7	8	9	10
e.	Municipal Trails and Bikeways	1	2	3	4	5	6	7	8	9	10
f.	Public Works Department and Facility	1	2	3	4	5	6	7	8	9	10
g.	Building and Zoning Department	1	2	3	4	5	6	7	8	9	10
h.	Municipal Parking	1	2	3	4	5	6	7	8	9	10
i.	Parks and Recreation Department	1	2	3	4	5	6	7	8	9	10
Utilities											
22.	My property is on central water and sewer:	Yes				No					
23.	My property is on a well and septic system:	Yes				No					
24.	I would like my property to be connected to central water and sewer:	Yes				No					

In the space below, please add any additional comments on issues of importance to you for Millville’s future that should be considered in the development of the Millville Comprehensive Plan. If you need additional space, please continue your comments on the back of this sheet.

**THANK YOU
FOR YOUR PARTICIPATION IN PLANNING FOR THE FUTURE OF MILLVILLE, DE!**

Please return your completed survey to Millville Town Hall. If you are unable to drop it off, please feel free to mail it:

**Surveys
Town of Millville
36404 Club House Road
Millville, DE 19967**

If you have any questions, please feel free to contact Deborah Y. Botchie, Town Manager, at Town Hall – (302) 539-0449.

Survey results are strictly confidential and are only for the use of the Town and its consultants.

Town of Millville Comprehensive Plan Business Survey



The Town of Millville has experienced growth in both population and housing units since 2010, almost tripling its population and issuing over 850 residential building permits. A number of commercial retailers have also developed properties during this time period.

To better understand this growth, the Town of Millville is updating its Comprehensive Plan, which is an official statement about the Town's future that is used to direct future development decisions. It is required by State law and is certified by the Governor. This survey contains questions on a variety of issues related to the Town including land use, housing, transportation, utilities, town and community services, economic development, recreation, and other quality of life issues. As a business owner, employee, or property owner within the Town, **we need your opinion!** Your input is vital as we complete the Plan.

Please take a few minutes to respond to the following questions by August 15, 2018.

General Information					
1. Name of business:					
2. Type of business:					
3. Address of business:					
4. Street fronting business:					
5. This business has been in operation at this location for:	0-5 Years	6-10 Years	10+ Years		
6. This business is currently leasing/renting this location:	Yes			No	
7. This business currently owns this location:	Yes			No	
8. Are you or the building owner anticipating any improvements to the building?	Yes			No	
a. If so, when?	0-5 Years	6-10 Years	10+ Years		
9. The owner of the business/owner-operator is a permanent resident of Millville:	Yes*			No	
10. This business employs the following number of people:	0-10	11-20	21-30	31-40	40+
11. My business is home-based:	Yes			No	
12. My business is based on serving the:					
a. Local population:	Yes			No	
b. Regional population:	Yes			No	
c. Tourism population:	Yes			No	
d. Internet population:	Yes			No	
e. Other:					

*Please also consider filling out a Community Survey, developed for Millville residents. A copy of the Community Survey can be found at Town Hall or online at <https://millville.delaware.gov/info/comprehensive-plan-update/>.

**Town of Millville Comprehensive Plan
Business Survey**



		Very Satisfied	Satisfied	Neutral	Unsatisfied	Very Unsatisfied
Business Atmosphere						
14.	How satisfied are you with doing business in Millville?					
15.	How satisfied are you with the present location of your business?					
16.	How satisfied are you with the Bethany-Fenwick Chamber of Commerce?					
	I would be interested in a Millville Chamber of Commerce	Yes		No		
17.	How satisfied are you with the Millville website?					
18.	The Town website should provide the following:					
	a. Tax payment fee online:	Yes		No		
	b. Building permit payment online:	Yes		No		
	c. Business Licenses fee payment online:	Yes		No		
	d. Links to Town businesses:	Yes		No		
	e. Other:					
Business Development						
19.	There should be the following to help improve business:					
	a. Seasonal bus or trolley service to bring people from the beach to the Town	Yes		No		
	b. Pedestrian and biking paths connecting residential to commercial	Yes		No		
	c. Pedestrian and biking paths connecting to neighboring municipalities	Yes		No		
	d. Farmers' market	Yes		No		
	e. Town festival	Yes		No		
	f. Wayfinding signs indicating location of businesses	Yes		No		
	g. Other:					
Town Character						
20.	The Town of Millville should be promoted as a:					
	a. Bedroom beach community	Yes		No		
	b. A live-work community	Yes		No		
	c. A retirement community	Yes		No		
	d. Retail and economic hub	Yes		No		
	e. Resort destination	Yes		No		
	f. Other:					

Town of Millville Comprehensive Plan Business Survey



	Far Too Many	Slightly More than Enough	Enough	Slightly Less than Enough	Far Too Little
Commercial and Industrial					
21. How do you feel about the current amount of various commercial and industrial types in Millville:					
a. Locally-owned commercial					
b. Small-scale commercial					
c. Large-scale commercial					
d. Shopping complexes (multiple stores anchored by a large store)					
e. Mixed commercial, business uses, and office					
f. Offices, research and development facilities					
g. Building supply, contractor yards, equipment storage					
h. Light industrial assembly					
i. Storage units and warehouse					

Views on City Resources and Services																				
											Highest	Lowest								
22. The following services are currently not offered by the Town of Millville. Please rank the following services from highest priority (1) to lowest priority (10): <i>(circle one for each item)</i>																				
a. Town Library											1	2	3	4	5	6	7	8	9	10
b. Town Police Force											1	2	3	4	5	6	7	8	9	10
c. Town Trash Service											1	2	3	4	5	6	7	8	9	10
d. Public Park											1	2	3	4	5	6	7	8	9	10
e. Community Center											1	2	3	4	5	6	7	8	9	10
f. Public Works Department and Facility											1	2	3	4	5	6	7	8	9	10
g. Building and Zoning Department											1	2	3	4	5	6	7	8	9	10
h. Municipal Parking											1	2	3	4	5	6	7	8	9	10
i. Parks and Recreation Department											1	2	3	4	5	6	7	8	9	10

In the space below, please add any additional comments on issues of importance to you for Millville's future that should be considered in the development of the Millville Comprehensive Plan. If you need additional space, please continue your comments on the back of this sheet.

**THANK YOU
FOR YOUR PARTICIPATION IN PLANNING FOR THE FUTURE OF MILLVILLE, DE!**

Please return your completed survey to Millville Town Hall. If you are unable to drop it off, please feel free to mail it:

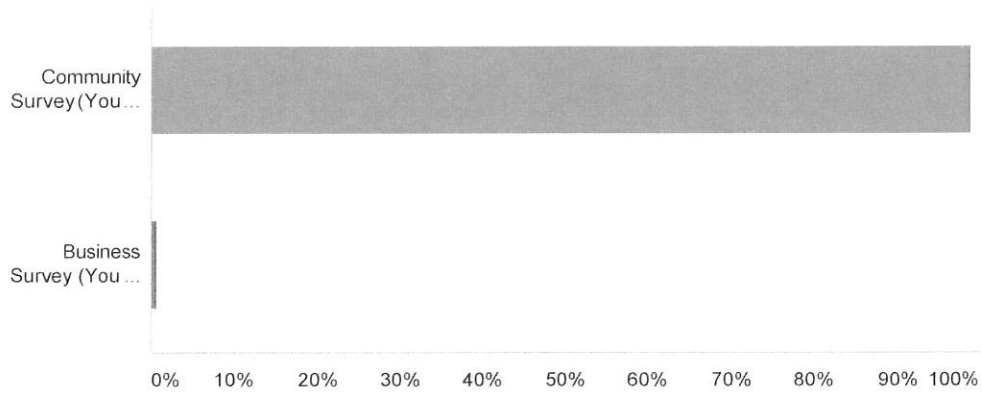
**Surveys
Town of Millville
36404 Club House Road
Millville, DE 19967**

If you have any questions, please feel free to contact Deborah Y. Botchie, Town Manager, at Town Hall – (302) 539-0449.

Survey results are strictly confidential and are only for the use of the Town and its consultants.

Q1 Would you like to take the:

Answered: 456 Skipped: 2



ANSWER CHOICES

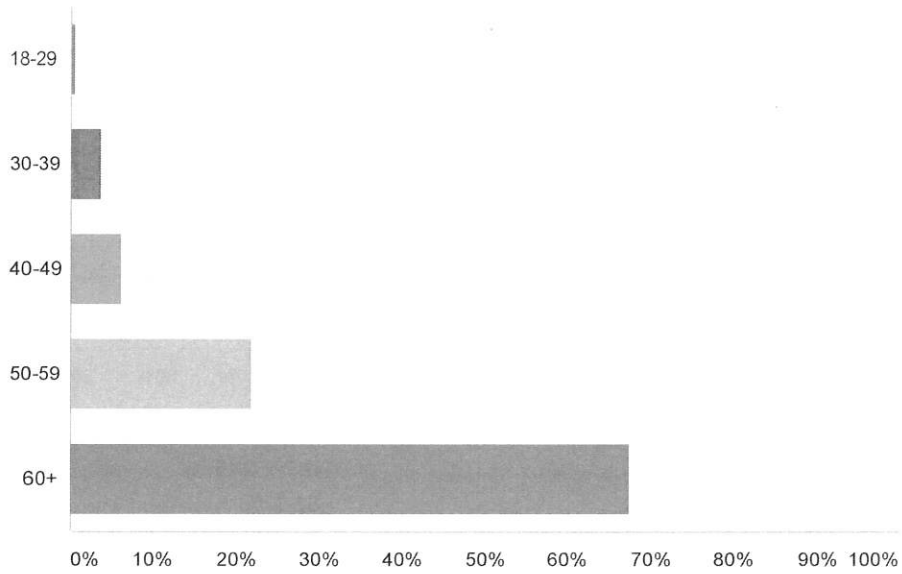
- Community Survey (You are a Resident, Residential Property Owner, or Visitor)
- Business Survey (You are a Business Owner or Operator, Employee, or Commercial Property Owner)
- TOTAL

RESPONSES

99.12%	452
0.88%	4
	456

Q2 My age is:

Answered: 434 Skipped: 24



ANSWER CHOICES

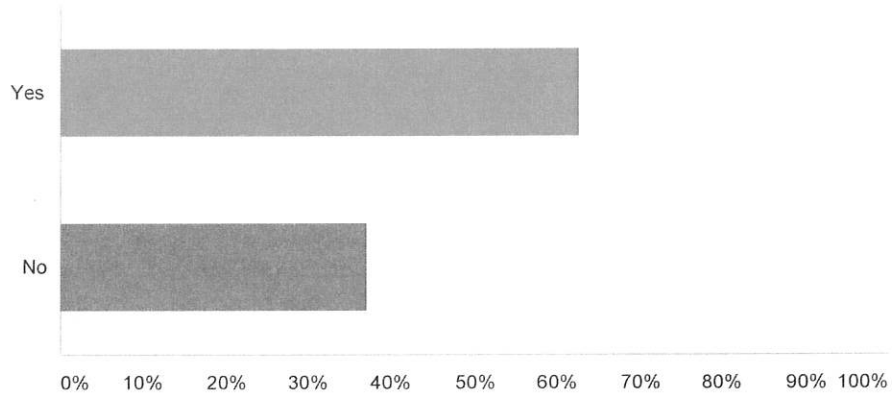
18-29
30-39
40-49
50-59
60+
TOTAL

RESPONSES

0.69%	3
3.69%	16
6.22%	27
21.89%	95
67.51%	293
	434

Q3 I am currently retired:

Answered: 434 Skipped: 24



ANSWER CHOICES

Yes

No

TOTAL

RESPONSES

62.67%

37.33%

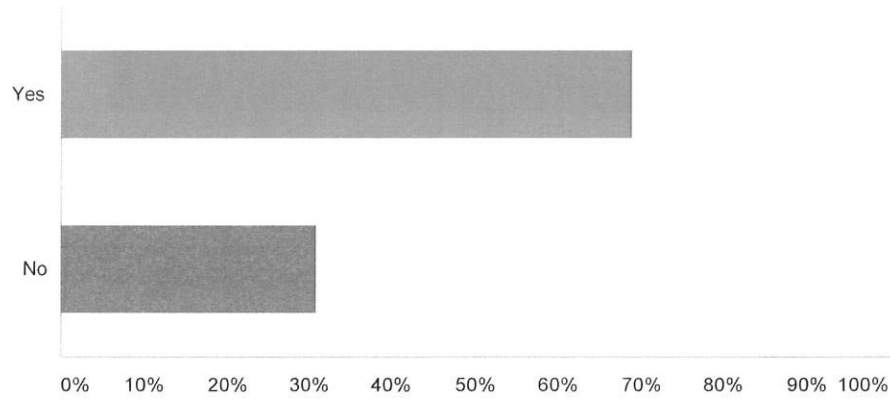
272

162

434

Q4 I am a permanent resident of Millville:

Answered: 433 Skipped: 25

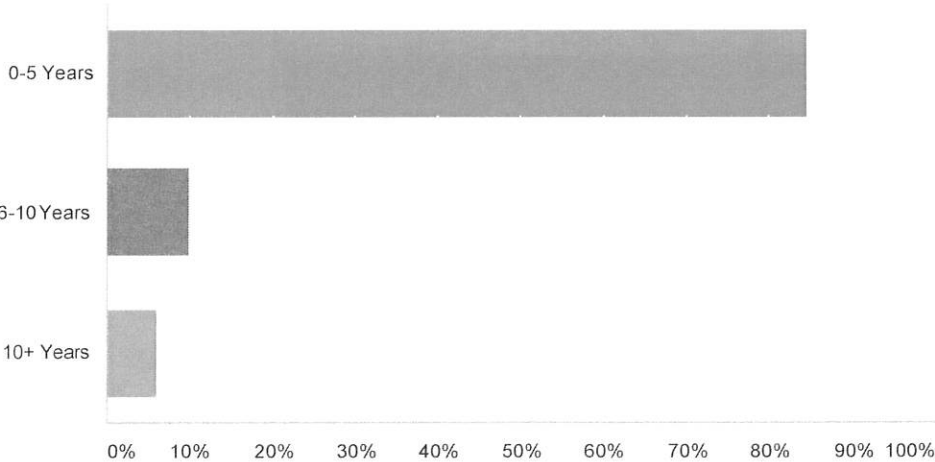


ANSWER CHOICES

Yes	69.05%	299
No	30.95%	134
TOTAL		433

Q5 I have been a permanent resident in Millville for:

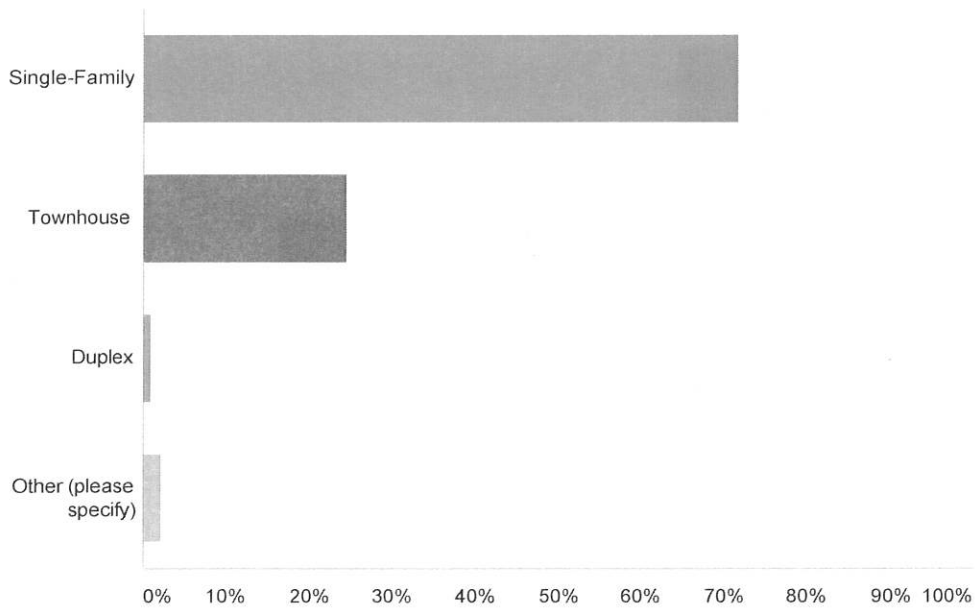
Answered: 299 Skipped: 159



ANSWER CHOICES	RESPONSES	
0-5 Years	84.62%	253
6-10 Years	9.36%	28
10+ Years	6.02%	18
TOTAL		299

Q6 I would describe my residence as:

Answered: 299 Skipped: 159

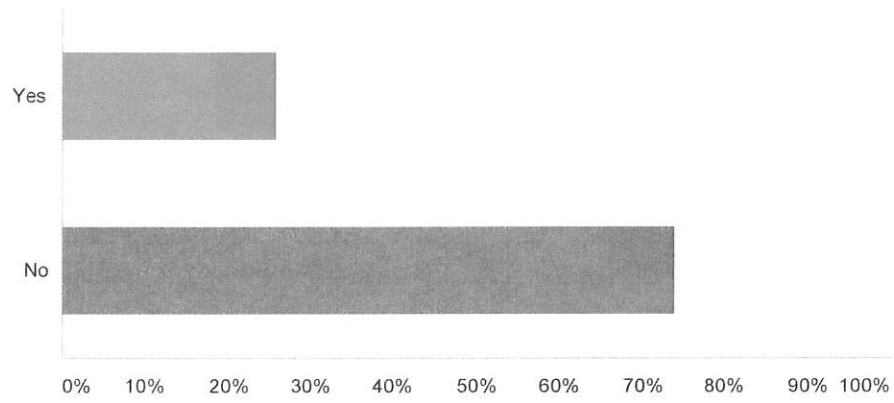


ANSWER CHOICES	RESPONSES	
Single-Family	71.91%	215
Townhouse	24.75%	74
Duplex	1.00%	3
Other (please specify)	2.34%	7
TOTAL		299

#	OTHER (PLEASE SPECIFY)	DATE
1	Villa	8/12/2018 11:56 AM
2	Villa	7/2/2018 2:53 PM
3	Villa	6/11/2018 11:39 AM
4	Ocean villa	6/11/2018 9:52 AM
5	Beazer Beach Villa	6/11/2018 9:34 AM
6	Villa	6/11/2018 9:06 AM
7	condo/townhouse	5/5/2018 3:46 PM

Q7 I am a seasonal resident of Millville:

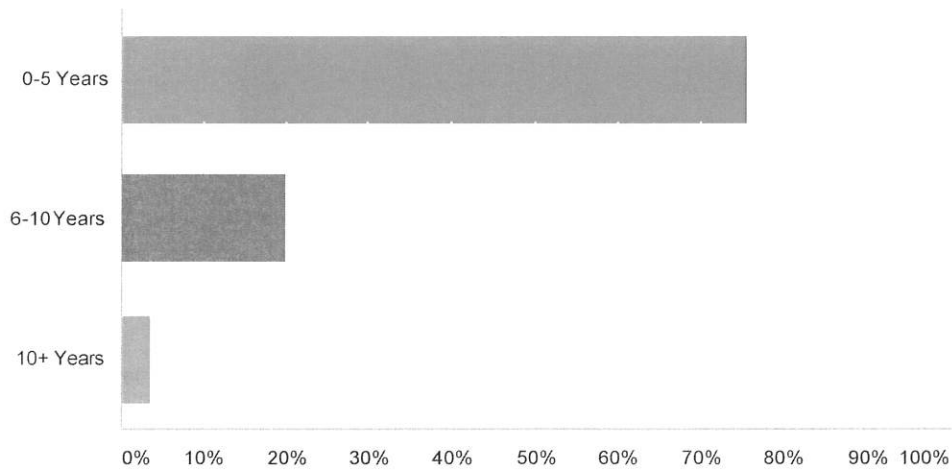
Answered: 431 Skipped: 27



ANSWER CHOICES	RESPONSES	
Yes	25.99%	112
No	74.01%	319
TOTAL		431

Q8 I have been a seasonal resident in Millville for:

Answered: 111 Skipped: 347



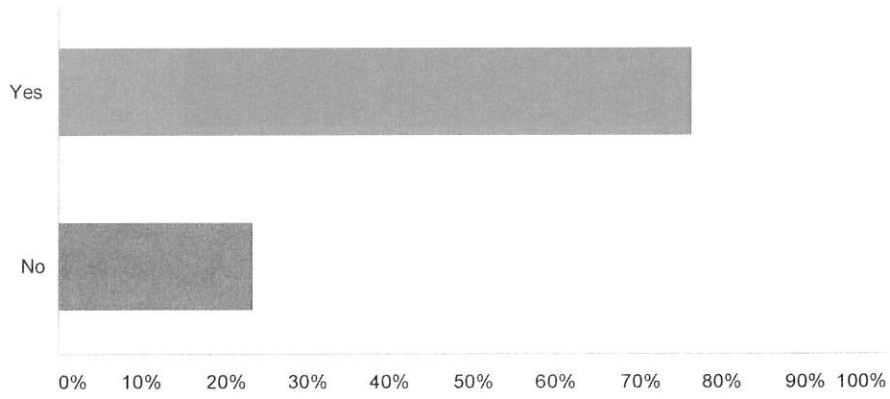
ANSWER CHOICES

RESPONSES

0-5 Years	75.68%	84
6-10 Years	20.72%	23
10+ Years	3.60%	4
TOTAL		111

Q9 I plan on becoming a permanent resident:

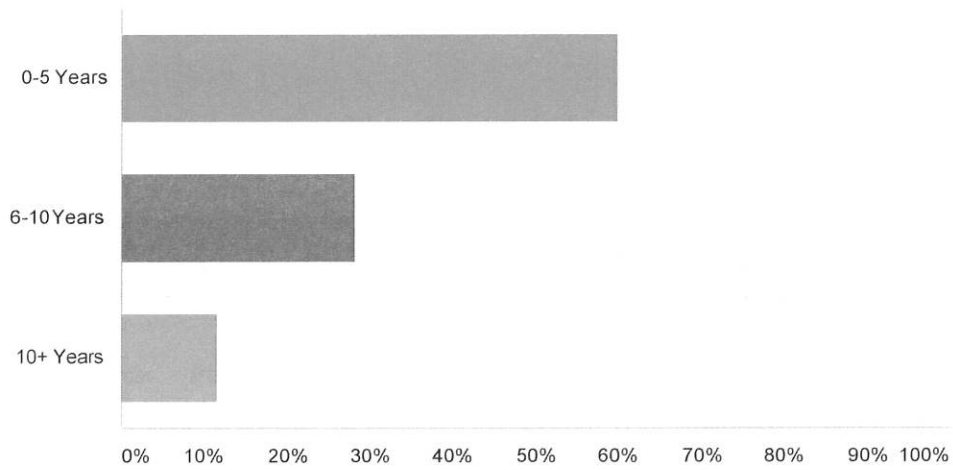
Answered: 111 Skipped: 347



ANSWER CHOICES	RESPONSES	
Yes	76.58%	85
No	23.42%	26
TOTAL		111

Q10 When do you plan on becoming a permanent resident?

Answered: 85 Skipped: 373



ANSWER CHOICES

0-5 Years

6-10 Years

10+ Years

TOTAL

RESPONSES

60.00%

28.24%

11.76%

51

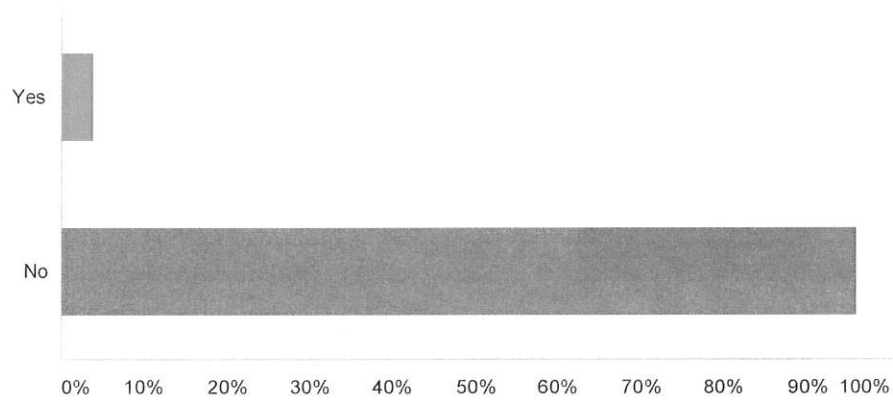
24

10

85

Q11 I am a non-resident landowner in Millville:

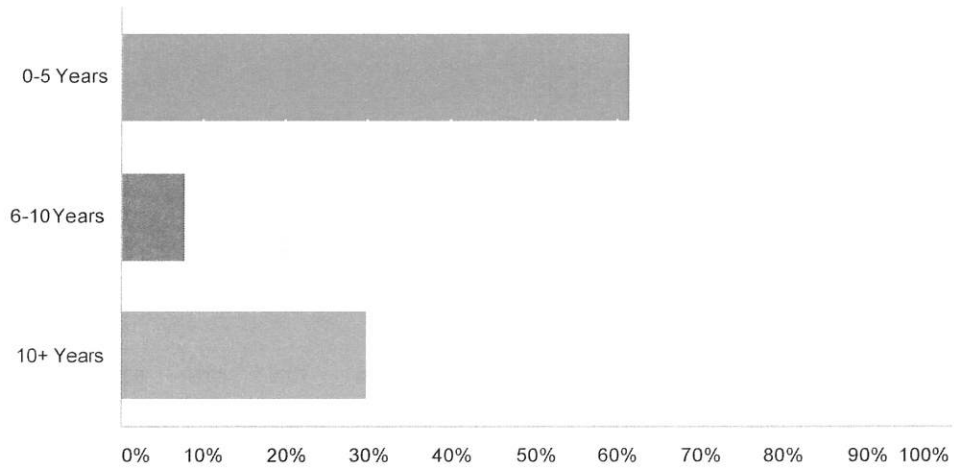
Answered: 319 Skipped: 139



ANSWER CHOICES	RESPONSES	
Yes	4.08%	13
No	95.92%	306
TOTAL		319

Q12 I have been a non-resident landowner in Millville for:

Answered: 13 Skipped: 445



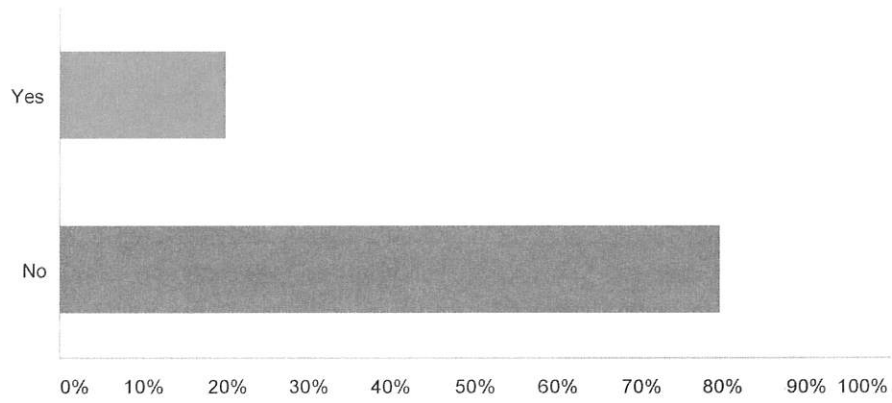
ANSWER CHOICES

RESPONSES

0-5 Years	61.54%	8
6-10 Years	7.69%	1
10+ Years	30.77%	4
TOTAL		13

Q13 I plan on developing my land in Millville:

Answered: 10 Skipped: 448



ANSWER CHOICES

Yes

No

TOTAL

RESPONSES

20.00%

80.00%

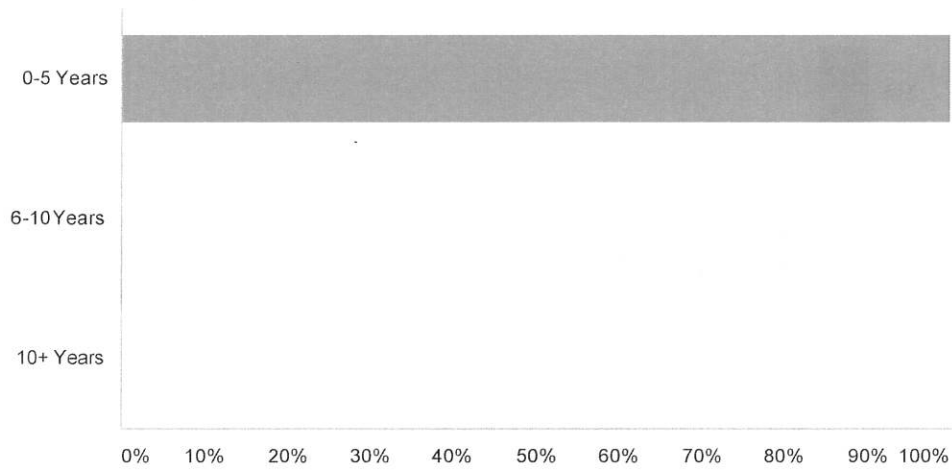
2

8

10

Q14 I plan on developing my land in:

Answered: 2 Skipped: 456



ANSWER CHOICES

RESPONSES

0-5 Years	100.00%	2
6-10 Years	0.00%	0
10+ Years	0.00%	0
TOTAL		2