

ZONING SOURCE: TOWN OF MILLVILLE ONLINE ZONING MAP
VICINITY MAP WITH ZONING
SCALE: 1"=400'

TAX PARCEL	OWNER	ZONING
134-12-00-382.04	TYRE FARM LLC, C/O GULFSTREAM HOMES	RPC ZONING
134-12-00-2929.00	DAVID H & CAROLENE M HALLER	RPC ZONING
134-12-00-2928.00	REVOCABLE TRUST	RPC ZONING
134-12-00-2927.00	JEANNE M. JONES	RPC ZONING
134-12-00-2926.00	WOODLAND REALTY LLC	RPC ZONING
134-12-00-2925.00	STEVEN M & PATRICIA S WISEL	RPC ZONING
134-12-00-2924.00	DEBRA K ROCHE TRUSTEE	RPC ZONING
134-12-00-2924.00	MARGARET MARY & RANDY BRYAN SMITH	RPC ZONING
134-12-00-2923.00	ROBERT D WALLACE & MICHELE A CHARLTON	RPC ZONING
134-12-00-2922.00	ANGELA A & DENIS MUNN	RPC ZONING
134-12-00-2921.00	JOHN W & BERNICE A YOUNG	RPC ZONING
134-12-00-2920.00	ROBERT P & LIZA J BARTON	RPC ZONING
134-12-00-2919.00	RICHARD M & JONI E REILLY	RPC ZONING
134-12-00-3313.00	MICHAEL D. & MARY A. VOGEL	MPC ZONING
134-12-00-3314.00	STEVEN N. MONTE & AMY E. WALL-MONTE	MPC ZONING
134-12-00-3315.00	JOSEPH P. & MARIAN BATTON	MPC ZONING
134-12-00-3316.00	KEVIN V. & LISA A. MCDONALD	MPC ZONING
134-12-00-3317.00	DAVID T. & RUTH H. KILMON	MPC ZONING
134-12-00-3318.00	DAVID T. & TINA L. SIATKOWSKI	MPC ZONING
134-12-00-3319.00	JAMES J. PAINTER	MPC ZONING

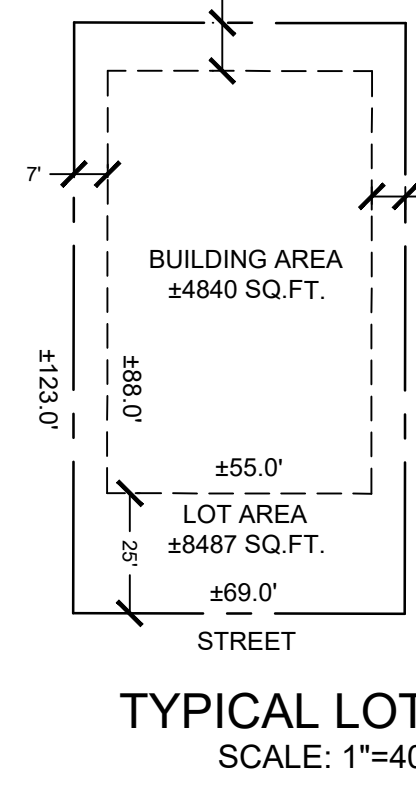
Curve #	Length	Radius	Delta
C2	36.67	22.50	93°23'18"
C3	56.95	975.00	3°20'48"
C4	34.19	22.50	87°04'17"
C5	34.01	22.50	86°36'42"
C6	34.01	22.50	86°36'42"
C7	40.50	25.00	92°49'24"
C8	34.23	22.50	87°10'36"
C9	36.67	22.50	93°23'18"
C10	34.01	22.50	86°36'42"
C11	36.67	22.50	93°23'18"
C12	37.79	25.00	86°36'42"
C13	36.67	22.50	93°23'18"
C14	36.45	22.50	92°49'24"
C15	35.73	22.50	90°58'59"
C16	35.18	22.50	89°34'55"
C17	34.01	22.50	86°36'42"
C18	34.96	22.50	89°01'01"
C19	39.70	25.00	90°58'59"
C20	35.86	22.50	91°18'56"
C21	35.61	22.50	90°25'05"

Curve #	Length	Radius	Delta
C22	40.72	25.00	93°19'33"
C23	40.12	25.00	91°57'23"
C24	34.53	22.50	87°56'15"
C25	39.27	25.00	90°00'00"
C26	19.63	25.00	45°00'00"
C27	19.63	25.00	45°00'00"
C28	33.72	22.50	85°52'41"
C29	37.25	22.50	94°51'06"
C30	36.10	22.50	91°56'17"
C31	38.42	25.00	88°02'37"
C32	36.63	22.50	93°18'20"
C33	34.06	22.50	86°43'40"
C34	36.48	22.50	92°54'23"
C35	38.00	25.00	87°05'37"
C36	34.06	22.50	86°43'40"
C37	40.86	25.00	93°38'10"
C38	33.91	22.50	86°21'50"
C39	36.63	22.50	93°18'20"
C40	31.02	1025.00	1°44'01"
C41	34.20	22.50	87°05'37"

Curve #	Length	Radius	Delta
C42	36.77	22.50	93°38'10"
C43	33.44	22.50	85°08'54"
C44	36.96	22.50	94°07'19"
C45	33.72	22.50	85°52'41"
C46	37.25	22.50	94°51'06"
C47	33.44	22.50	85°08'54"
C48	36.96	22.50	94°07'19"

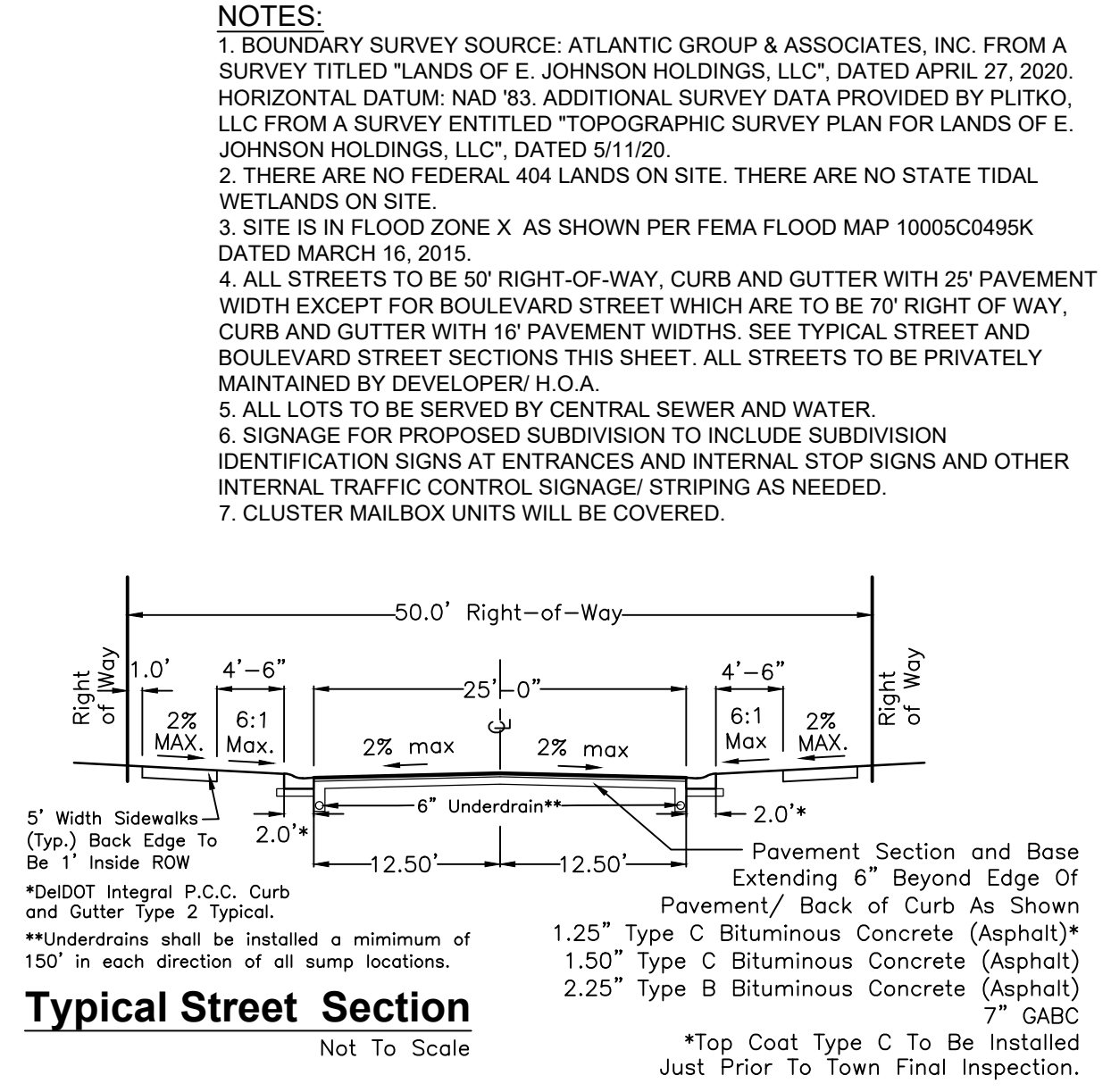
Curve #	Length	Radius	Delta
BC1	1.70	615.06	0°09'30"

Line #	Length	Direction
L1	50.06	N62°47'21.38"E
L2	50.00	N62°15'49.38"E
L3	30.59	S17°16'28.75"W
L4	50.00	N72°43'31.25"W
L5	30.59	S17°16'28.75"W
L6	67.54	S63°00'15.75"W
L7	50.00	N26°59'44.25"W
L8	17.74	S63°00'15.75"W
L9	28.61	N62°16'28.75"E
L10	30.90	S62°15'49.38"W
L11	4.17	N27°56'39.29"W
L12	0.42	N30°31'32.62"W
L13	2.00	N59°28'27.38"E
L14	6.25	S30°31'32.62"E
L15	9.36	S30°31'32.62"E

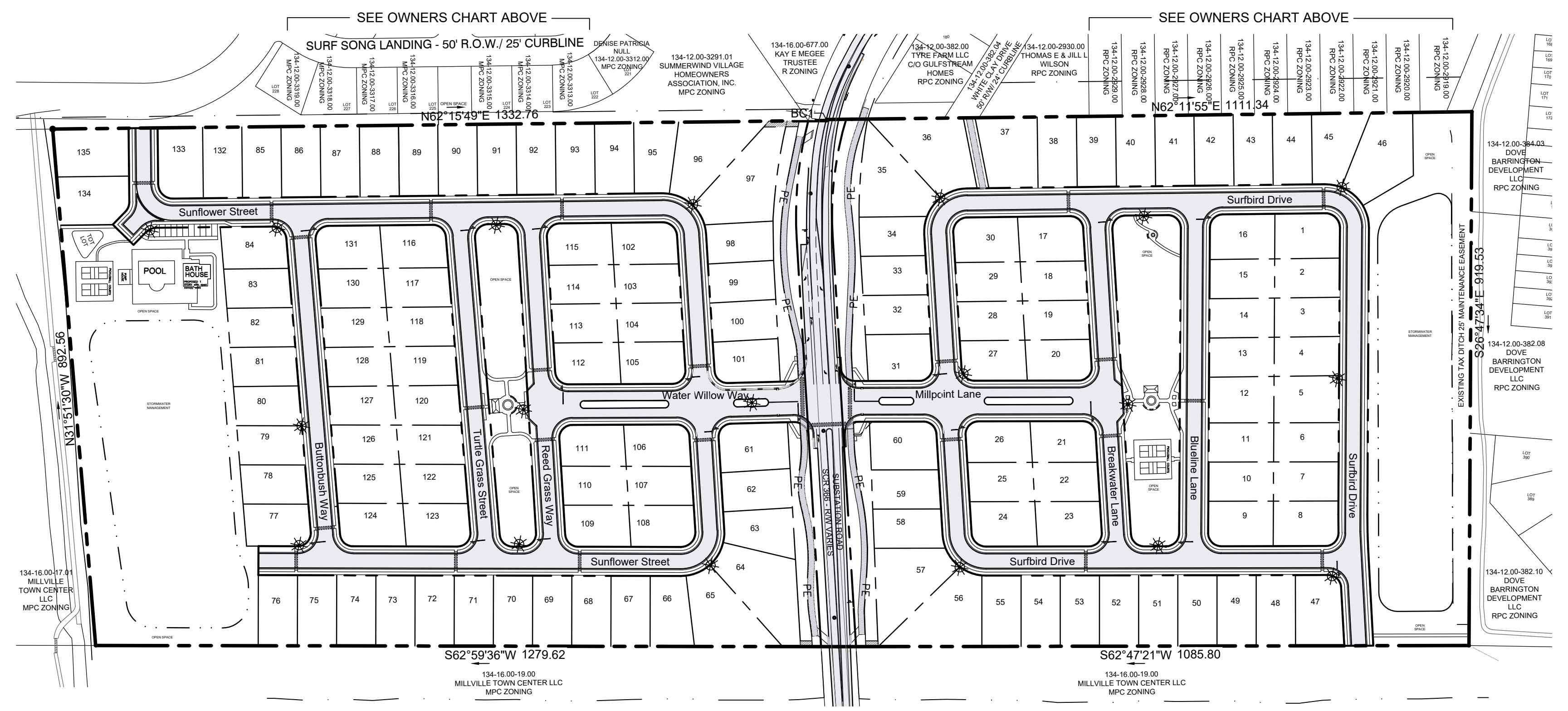


TYPICAL LOT
SCALE: 1"=40'

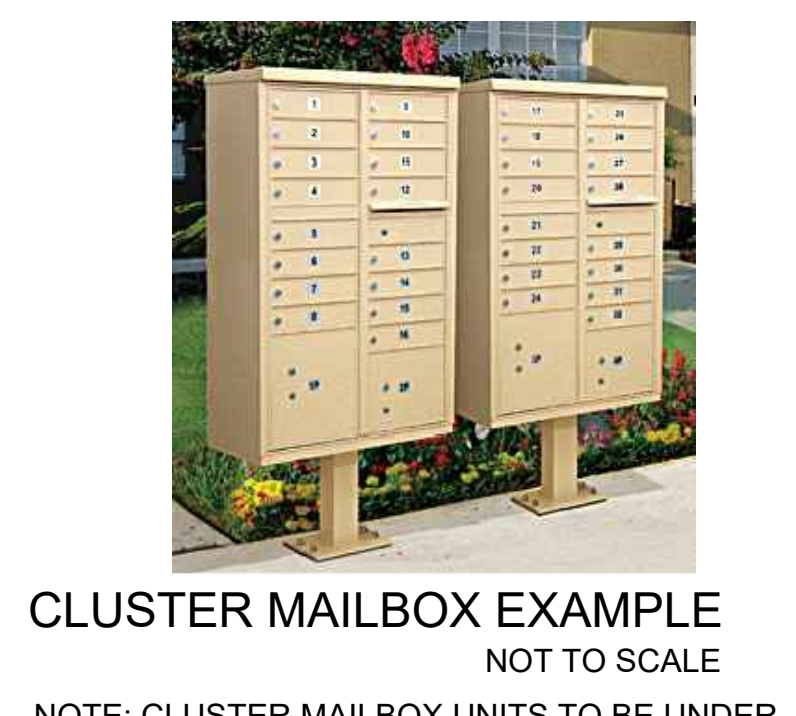
EXISTING SITE DATA:		PROPOSED SITE DATA:	
1. TAX PARCEL:	134-16-00-17.00	1. PROPOSED LAND USE:	135 D.U. SINGLE FAMILY SUBDIVISION
OWNER:	E. JOHNSON HOLDINGS, LLC, 39827 HICKMAN PLAZA ROAD, #7 BETHANY BEACH, DE 19930	2. PROPOSED GROSS DENSITY:	135 D.U. / 49.98 AC. = 2.70 D.U./AC.
LOCATION:	SUBSTATION ROAD BETWEEN BURBAGE ROAD AND BEAVER DAM ROAD	PRESENT ZONING:	R ZONING
STATE INVESTMENT LEVEL:	LEVEL 2	R DENSITY ALLOWED:	5.81 DU/AC.
3. DEVELOPER:	STAFFORD STREET CAPITAL, LLC 179 REHOBOTH AVENUE, #1081 REHOBOTH BEACH, DE 19971	3. MINIMUM DIMENSIONS	REQUIRED
PRESENT ZONING:	R ZONING	LOT WIDTH:	60'
PRESENT LAND USE:	AGRICULTURAL	LOT DEPTH:	100'
4. PARCEL AREA:	±49.98 AC.	LOT AREA:	7,500 SQ.FT.
EAST SIDE:	±23.35 AC.	MINIMUM LOT SIZE:	7500 SQ.FT.
WEST SIDE:	±26.64 AC.	AVERAGE LOT SIZE:	8517 SQ.FT.
		SETBACKS:	
		FRONT YARD:	25'
		SIDE YARD:	7'
		REAR YARD:	10'
		4. AREA BREAKDOWN:	
		RIGHT-OF-WAY	±10.48 AC. 20.97%
		DELDOT ROW EASEMENT	±1.25 AC. 2.50%
		LOTS	±26.41 AC. 52.84%
		OPEN SPACE	±11.84 AC. 23.69%
		TOTAL	±49.98 AC. 100.00%
		5. SEWER PROVIDER:	SUSSEX COUNTY
		WATER PROVIDER:	TIDEWATER UTILITIES
			SHARED USE PATH
		STREETS	SIDEWALKS
		EAST SIDE:	±9073 L.F. ±15812 L.F. ±1847 L.F.
		WEST SIDE:	±4455 L.F. ±7321 L.F. ±997 L.F.
			±4618 L.F. ±8492 L.F. ±850 L.F.
		7. ACTIVE AMENITIES TO INCLUDE POOL, POOLHOUSE, TOT LOT, PICKLEBALL COURTS ALONG WITH PASSIVE AMENITY ELEMENTS FOR WALKING, SITTING, BIKE RIDING, ETC.	



Typical Street Section
Not To Scale

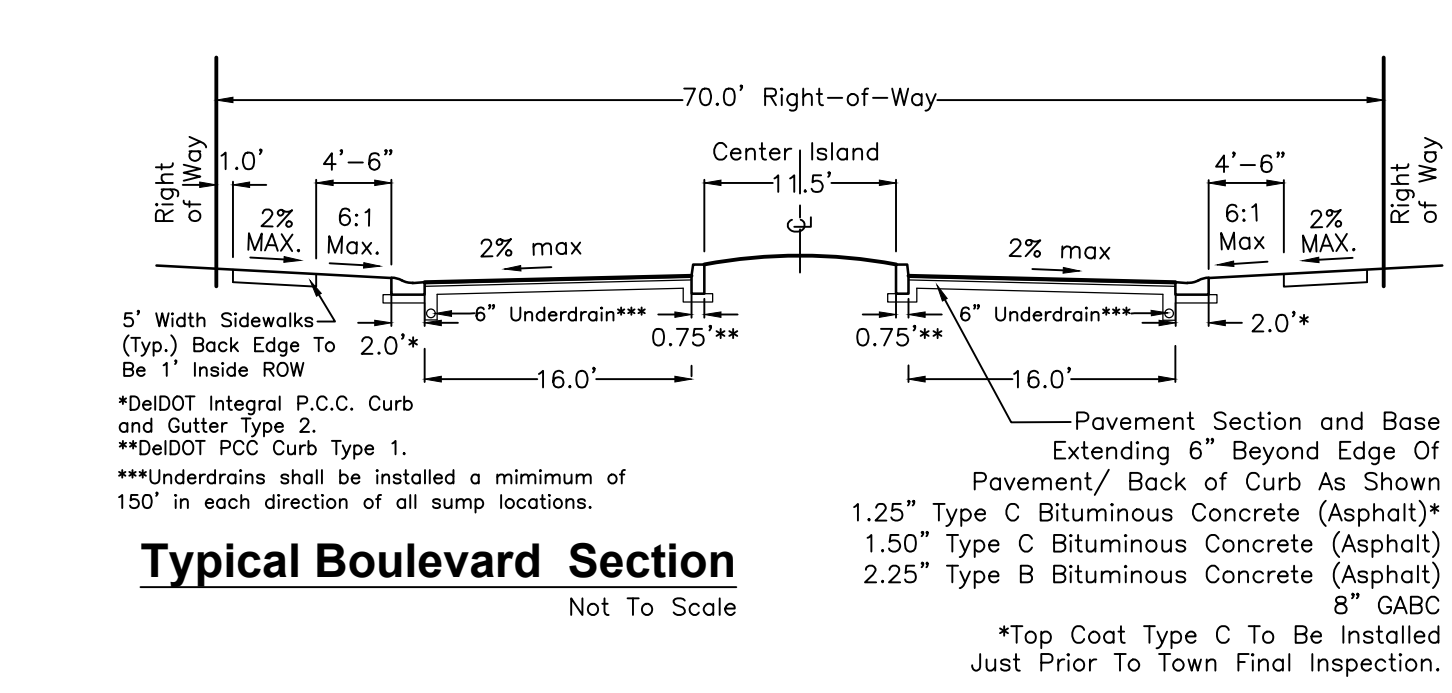


SUBDIVISION OVERVIEW
SCALE: 1"=150'



CLUSTER MAILBOX EXAMPLE
NOT TO SCALE

LEGEND:	
	PARCEL BOUNDARY
	RIGHT-OF-WAY
	TAX DITCH EASEMENT
	PROPOSED PERMANENT EASEMENT
	PROPOSED LOTLINE
	PROPOSED ROLLED CURBING
	PROPOSED SIDEWALK
	PROPOSED SHARED USE PATH
	PROPOSED CROSSWALK (6' WIDTH)
	PROPOSED STORMWATER BASIN
	PROPOSED STREETLIGHT
	PROPOSED STOP SIGN LOCATION
	PROPOSED STOP BAR STRIPING LOCATION



Typical Boulevard Section
Not To Scale

WETLANDS STATEMENT
ENVIRONMENTAL RESOURCES, INC. (ERI) INSPECTED THIS PARCEL, 134-16-00-17.00, FOR THE PRESENCE OF JURISDICTIONAL WATERS, INCLUDING NONTIDAL WETLANDS, ACCORDING TO THE CORPS OF ENGINEERS WETLANDS Delineation Manual (1987), THE ATLANTIC AND GULF COASTAL PLAIN SUPPLEMENT (2010), ASSOCIATED GUIDANCE IN EFFECT AT THAT TIME, DISCUSSION WITH CORPS' DOVER FIELD OFFICE AND BEST PROFESSIONAL JUDGMENT. BACKGROUND INFORMATION FROM A VARIETY OF SOURCES INDICATED THAT WETLANDS COULD BE FOUND ON THIS 50-ACRE PARCEL. ON-SITE OBSERVATIONS FOUND SOIL CONDITIONS SIMILAR TO THE USDA SOIL MAPPING AND CONFIRMED THE PRESENCE OF NUMEROUS DITCHES. THE LAND DRAINS BOTH EAST AND WEST TO WHITES CREEK AND DIRICKSON CREEK RESPECTIVELY. AS A RESULT OF THIS WORK, ERI MADE A REQUEST TO THE CORPS FOR A NO PERMIT REQUIRED (NPR) LETTER THAT INCLUDED AN EXISTING CONDITIONS PLAN, A DETAILED CONCEPT PLAN AND PROJECT NARRATIVE. BASED ON THIS DETAILED REQUEST, THE CORPS OF ENGINEERS ISSUED A NO PERMIT REQUIRED LETTER (NAP-OPR - 2021-31-23) FOR THE DEVELOPMENT OF THIS PROJECT ON FEBRUARY 5, 2021.
STATE OF DELAWARE (1988) MAP INDEX INDICATES THAT THIS PARCEL IS NOT ON A STATE WETLANDS MAP SHEET.
THOMAS D. NOBLE
PROFESSIONAL WETLAND SCIENTIST: 000389
CERTIFIED WETLAND DELINEATOR THROUGH THE CORPS OF ENGINEERS
WDCP93M0310001A

OWNER'S PLAN DEVELOPMENT APPROVAL:
I, as Owner/ Developer of the project shown, hereby approve these plans as shown or otherwise noted.
Dianne Archut
Dianne Archut, Manager Date
E. Johnson Holdings, LLC.

DEVELOPER'S PLAN DEVELOPMENT APPROVAL:
I, as Owner/ Developer of the project shown, hereby approve these plans as shown or otherwise noted.
Joel Sims
Joel Sims Date
Stafford Street Capital, LLC

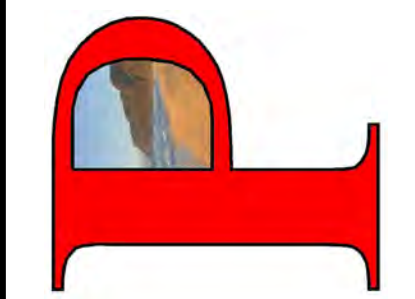
ENGINEER'S STATEMENT:
I certify that the proposed site plan was compiled under my supervision.
Robert Plitko, Jr.
Robert Plitko, Jr. Date
DE PE 14093

FINAL SITE PLAN COVER

REVISIONS

LAND DESIGN INC.
Land Planning / Landscape Architecture
Planning and Development Consultants
Oak Square, Suite #5, 55 Atlantic Ave
302/537-1919 / landz@aol.com

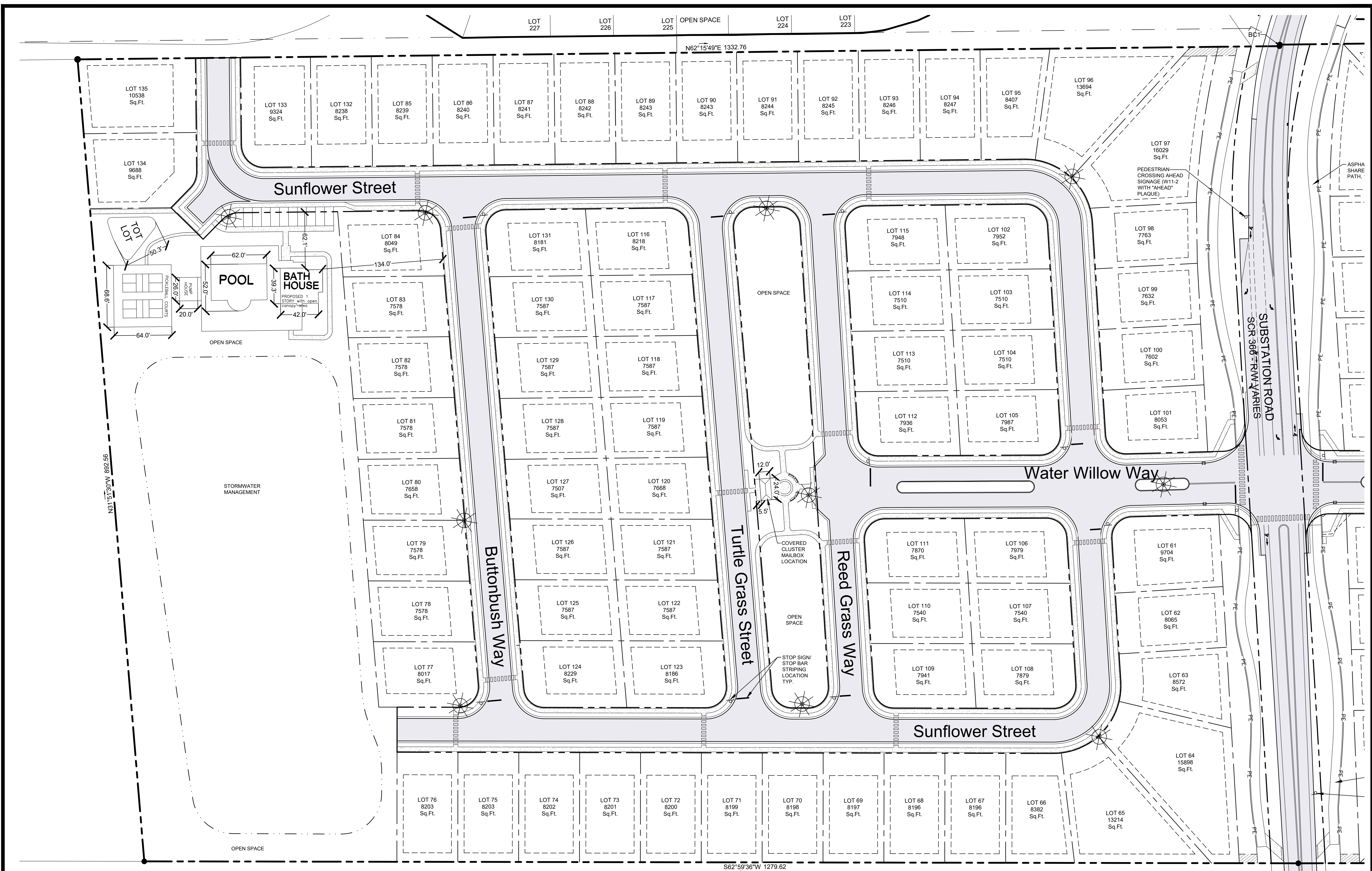
PLITKO, LLC
ENGINEERING
53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919



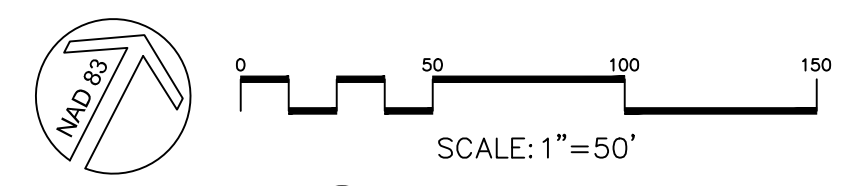
FINAL SITE PLAN
EGRET SHORES
SUBSTATION ROAD (SCR 366)
TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE

SITE PLAN: TJF
DRAWING: RWB
REVIEW: RP
DATE: 1/3/22
SHEET: S-100

C:\Users\landz\Dropbox\FamilyRoom\PLITKO LLC_Proj19\Sens-SubstationRD\Current\Final Site\Final Site and Subdivision Plan.dwg, S101-102 Site Plan, 1/10/2022 10:56:21 AM, Plitko LLC, Plitko LLC



LEGEND:	
	PARCEL BOUNDARY
	RIGHT-OF-WAY
	TAX DITCH EASEMENT
	PROPOSED PERMANENT EASEMENT
	PROPOSED LOTLINE
	PROPOSED LOT SETBACKS
	PROPOSED ROLLED CURBING
	PROPOSED SIDEWALK
	PROPOSED SHARED USE PATH
	PROPOSED CROSSWALK (6' WIDTH)
	PROPOSED STORMWATER BASIN
	PROPOSED STREETLIGHT
	PROPOSED STOP SIGN LOCATION
	PROPOSED STOP BAR STRIPING LOCATION



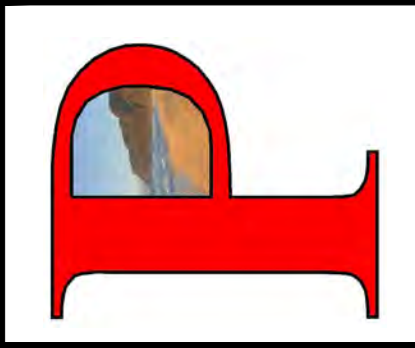
FINAL SITE PLAN - WEST SIDE

REVISIONS

NO.	DATE	DESCRIPTION

LAND DESIGN
 Land Planning / Landscape Architecture
 Planning and Development Consultants
 One Square, Suite 205, 55 Atlantic Ave.
 Ocean View, DE 19750
 302/557-1919 / landz@aol.com

PLITKO, LLC
 ENGINEERING
 53 ATLANTIC AVE., STE 3
 OCEAN VIEW, DE 19970
 Phone (302)-557-1919

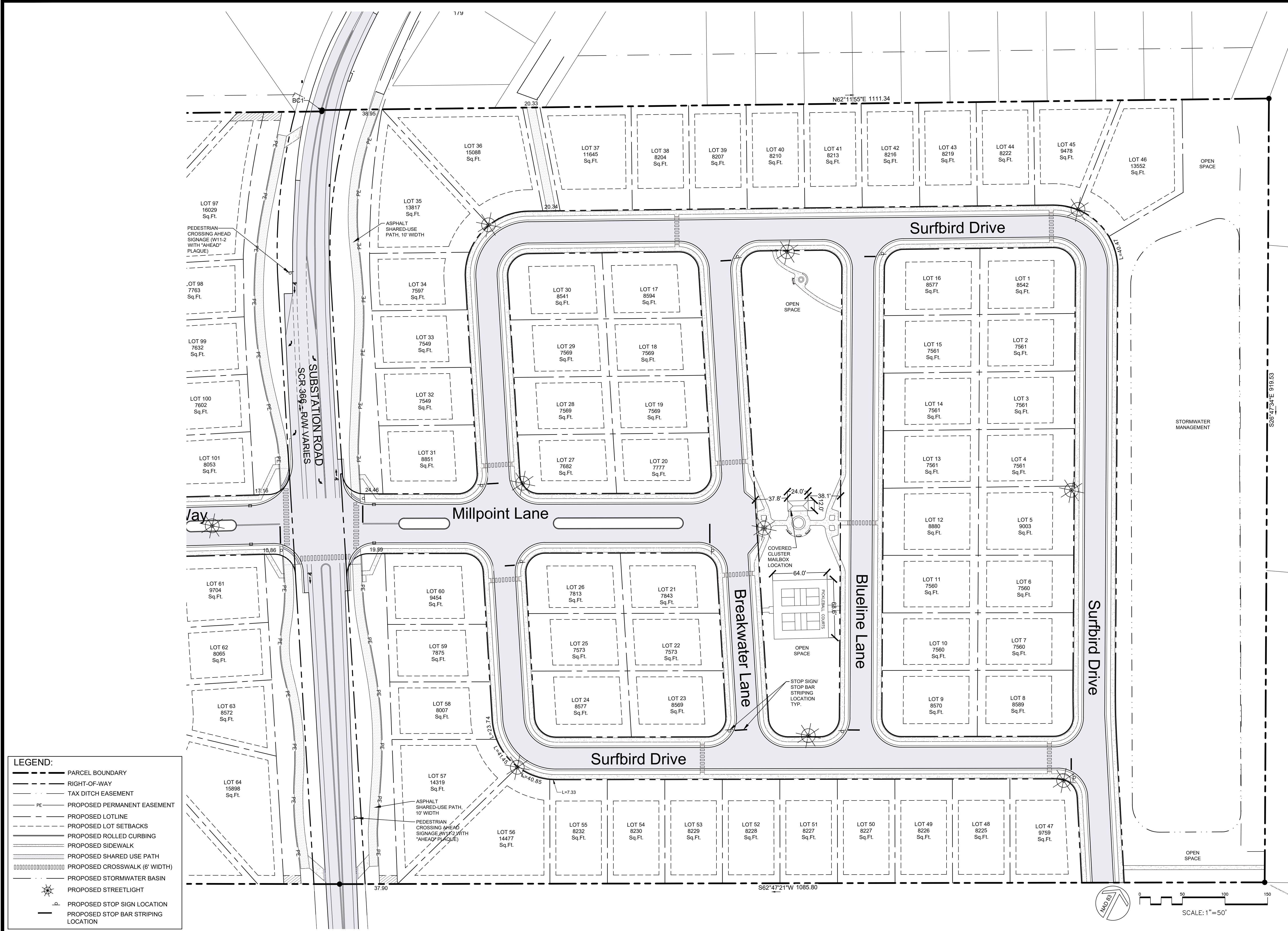


FINAL SITE PLAN
EGRET SHORES
 SUBSTATION ROAD (SCR 366)
 TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE

SITE PLAN: TJF
 DRAWING: RWB
 REVIEW: RP
 SHEET

DATE
 1/3/22
S-101

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LEGEND:

- PARCEL BOUNDARY
- - - RIGHT-OF-WAY
- - - TAX DITCH EASEMENT
- PE PROPOSED PERMANENT EASEMENT
- - - PROPOSED LOT SETBACKS
- - - PROPOSED ROLLED CURBING
- - - PROPOSED SIDEWALK
- - - PROPOSED SHARED USE PATH
- PROPOSED CROSSWALK (6' WIDTH)
- PROPOSED STORMWATER BASIN
- ☼ PROPOSED STREETLIGHT
- PROPOSED STOP SIGN LOCATION
- PROPOSED STOP BAR STRIPING LOCATION

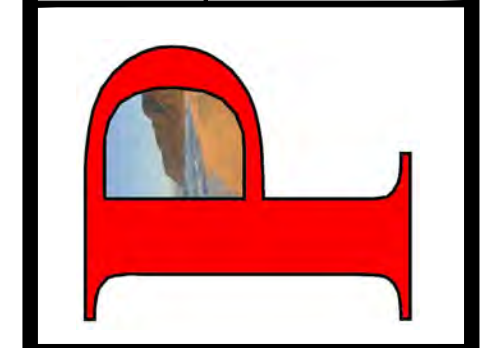
FINAL SITE PLAN - EAST SIDE

REVISIONS

NO.	DESCRIPTION

LAND DESIGN INC.
 Land Planning / Landscape Architecture
 302 Sycamore, Suite 105, Atlantic Ave.
 Ocean View, DE 19070
 302.537.1919 / landzn@aol.com

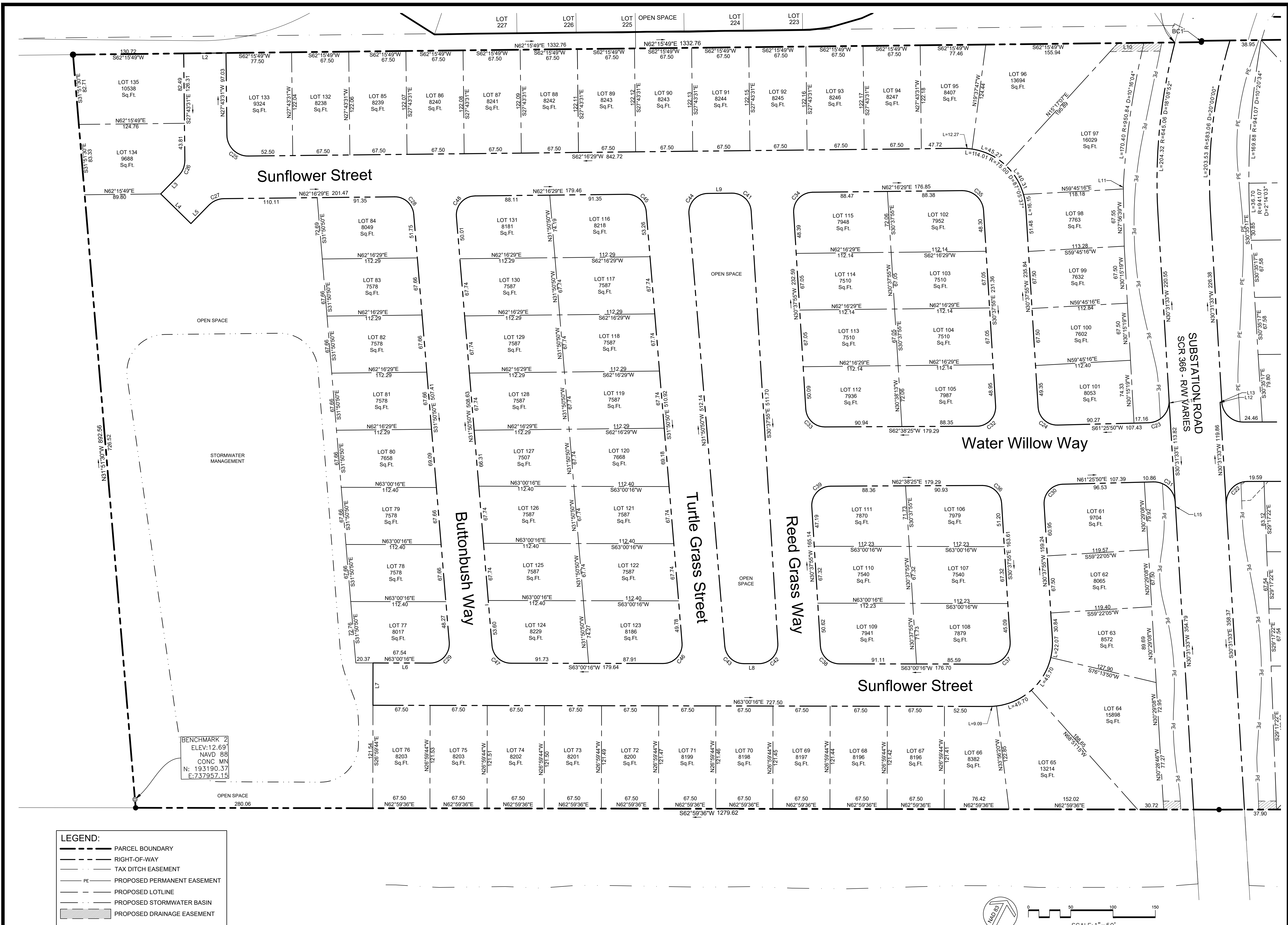
PLITKO, LLC
 ENGINEERING
 53 ATLANTIC AVE., STE 3
 OCEAN VIEW, DE 19070
 Phone (302)-537-1919



FINAL SITE PLAN
EGRET SHORES
 SUBSTATION ROAD (SCR 366)
 TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE

SITE PLAN: TJF	DATE
DRAWING: RWB	1/3/22
REVIEW: RP	
SHEET	S-102

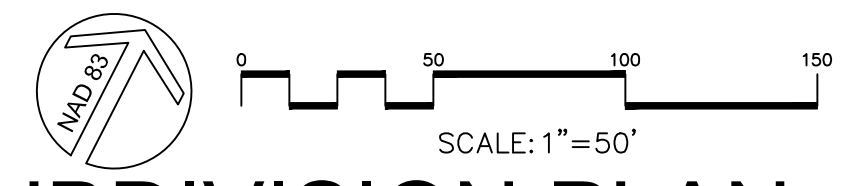
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BENCHMARK 2
 ELEV: 12.69'
 NAVD 88
 CONC MN
 N: 193190.37
 E: 737957.15

LEGEND:

- PARCEL BOUNDARY
- RIGHT-OF-WAY
- TAX DITCH EASEMENT
- PROPOSED PERMANENT EASEMENT
- PROPOSED LOTLINE
- PROPOSED STORMWATER BASIN
- PROPOSED DRAINAGE EASEMENT



FINAL SUBDIVISION PLAN - WEST SIDE

REVISIONS

NO.	DATE	DESCRIPTION

LAND DESIGN INC.
 Land Planning / Landscape Architecture
 Planning and Development Consultants
 302/537-1919 / landso@aol.com

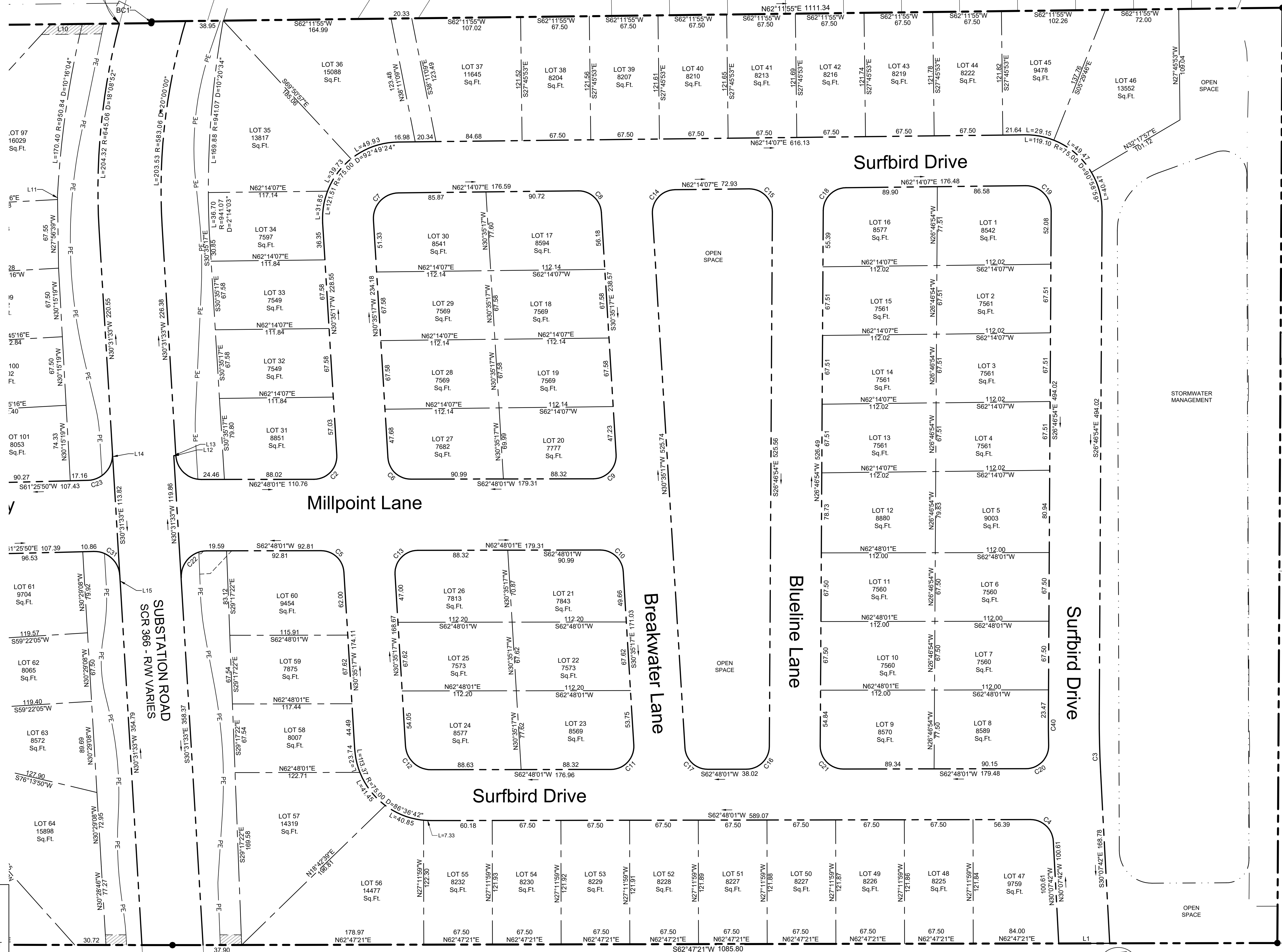
PLITKO, LLC
 ENGINEERING
 53 ATLANTIC AVE., STE 3
 OCEAN VIEW, DE 19970
 Phone (302)-537-1919



SUBDIVISION PLAN
EGRET SHORES
 SUBSTATION ROAD (SCR 366)
 TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE

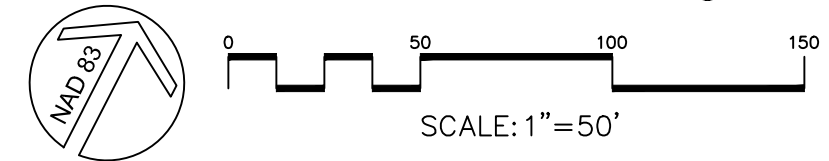
SITE PLAN: TJF	DATE
DRAWING: RWB	1/3/22
REVIEW: RP	
SHEET	S-103

BENCHMARK
ELEV: 15.83'
NAVD 88
IRON ROD FOUND
N: 194580.75
E: 738649.45



LEGEND:

- PARCEL BOUNDARY
- RIGHT-OF-WAY
- TAX DITCH EASEMENT
- PE PROPOSED PERMANENT EASEMENT
- PL PROPOSED LOTLINE
- S PROPOSED STORMWATER BASIN
- D PROPOSED DRAINAGE EASEMENT



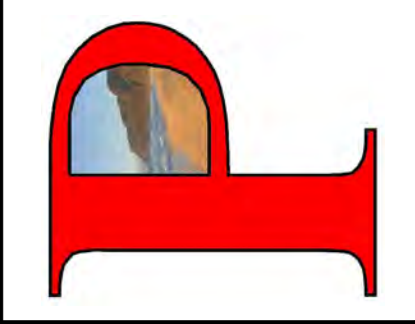
FINAL SUBDIVISION PLAN - EAST SIDE

REVISIONS

NO.	DATE	DESCRIPTION

LAND DESIGN INC.
Land Planning / Landscape Architecture
Planning and Development Consultants
302.537.1919 / landzn@aol.com

PLITKO, LLC ENGINEERING
53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302) 537-1919

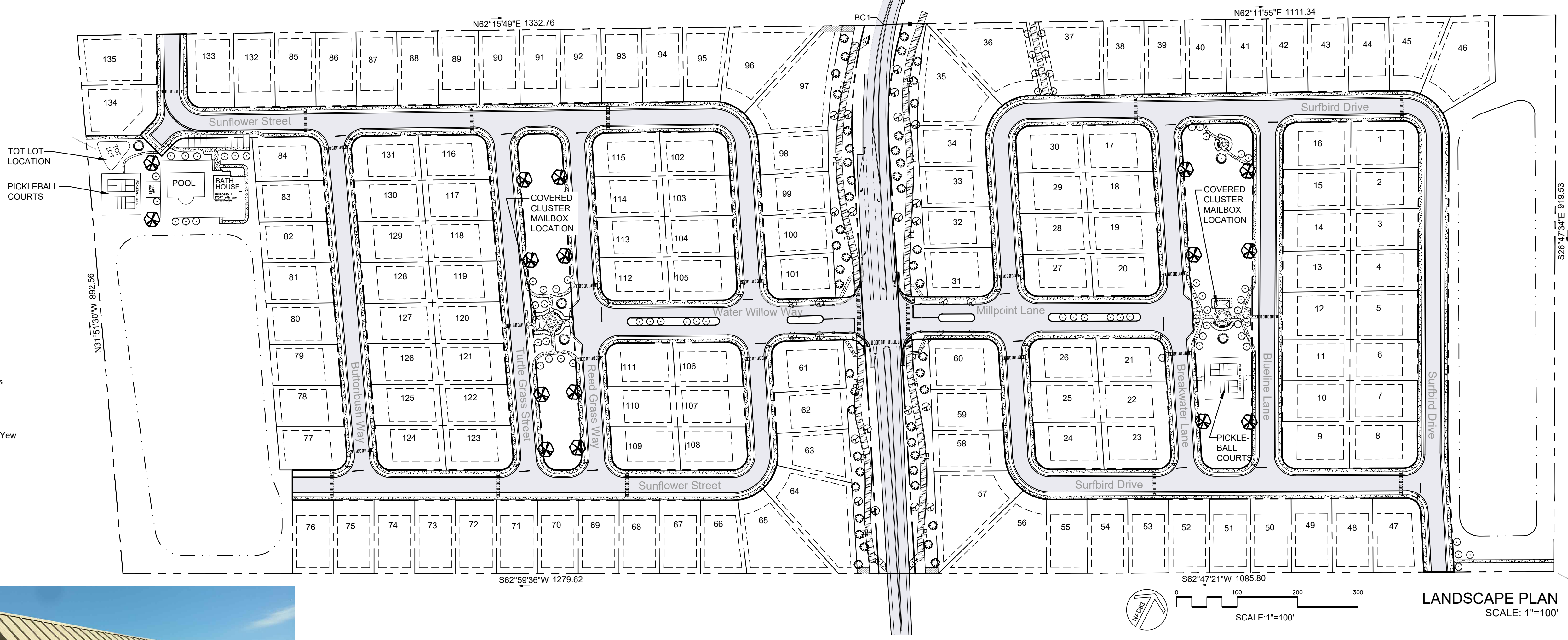


SUBDIVISION PLAN
EGRET SHORES
SUBSTATION ROAD (SCR 366)
TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE

SITE PLAN: T/JF	DATE
DRAWING: RWB	1/3/22
REVIEW: RP	

SHEET
S-104

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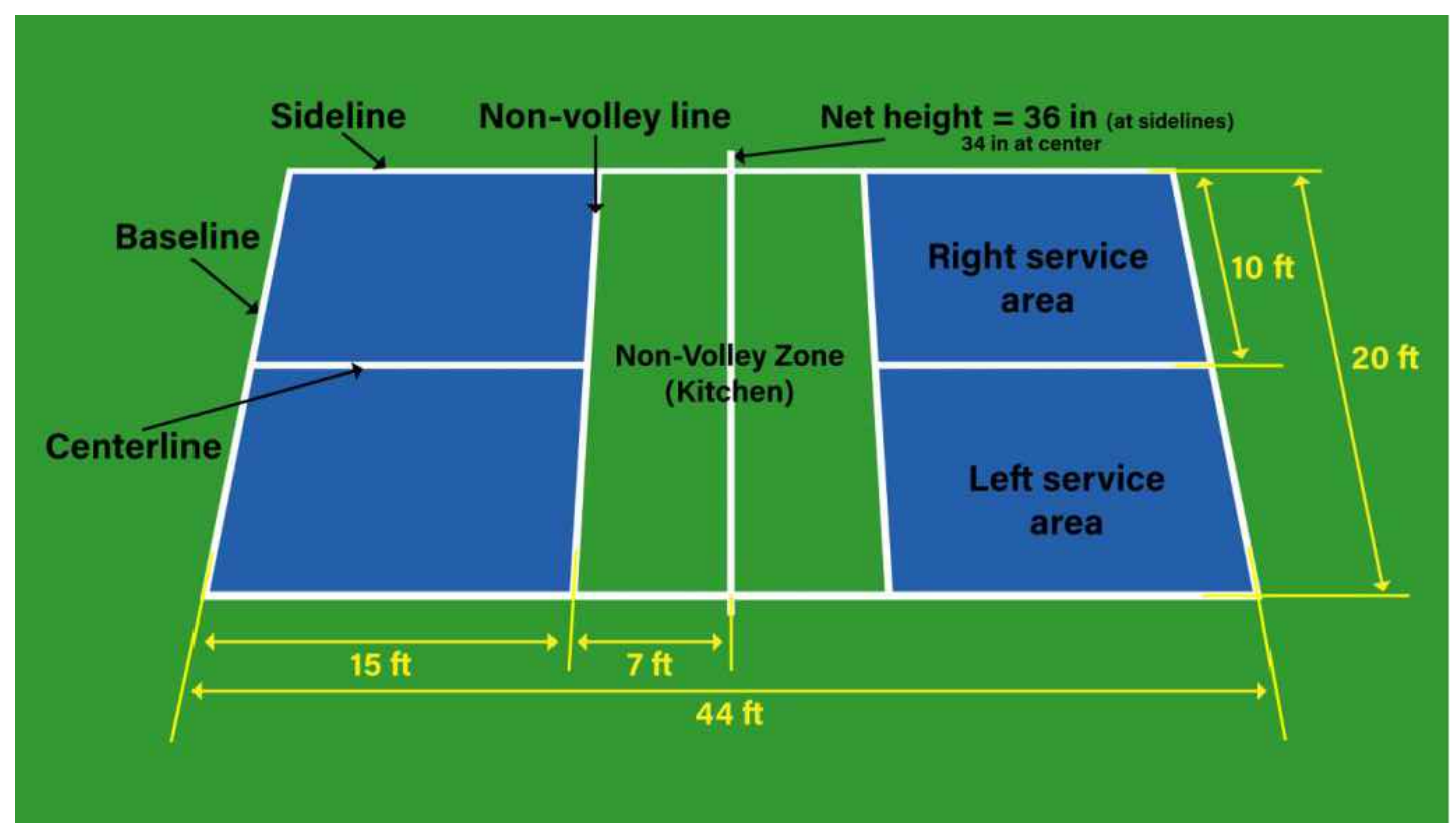


- LEGEND:**
- AR Red Maple
 - LIN Crape Myrtle- White
 - PC Pissard Plum
 - TD Common Baldcypress
 - CAG Blue Atlas Cedar
 - TBR Spreading English Yew



CLUSTER MAILBOX SHELTER EXAMPLE
NOT TO SCALE

- MAILBOX SHELTER NOTES:**
- MAILBOX CANOPY STRUCTURE TO PROVIDE SHELTER FOR MAILBOX UNITS AND USERS, HARDSCAPE SURFACE, AND WASTE RECEPTACLES.
 - MAILBOX CANOPY STRUCTURE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.



PICKLEBALL COURT DIMENSIONS
NOT TO SCALE

- PICKLEBALL COURT NOTES:**
- PICKLEBALL SURFACE TO BE 2" MINIMUM HOT-MIX ASPHALT OVER 6" MINIMUM AGGREGATE BASE. PLAYING COURT COLORS AND STRIPING TO BE APPLIED SURFACE TREATMENT.
 - PICKLEBALL COURTS TO BE SURROUNDED BY 42" HEIGHT BLACK VINYL-CLAD CHAIN LINK FENCING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

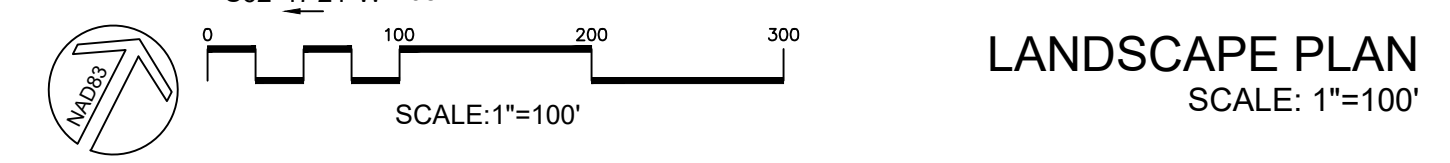
PLANT LIST:

KEY	QTY.	LATIN NAME	COMMON NAME	SPACING	SIZE	REMARKS
TREES						
AR	16	Acer rubrum	Red Maple	as shown	1.5" cal, 6' ht. min.	Heavy, full, vigorous
CAG	5	Cedrus atlantica "Glauca"	Blue Atlas Cedar	as shown	5-6' ht.	Heavy, full, vigorous, branching to ground
LIN	64	Lagerstroemia indica "Natchez"	Crape Myrtle	as shown	6-8' ht.	Heavy, full, vigorous, multistemmed
PC	27	Prunus cerasifera Atropurpurea	Pissard Plum	as shown	6-8' ht.	Heavy, full, vigorous
TD	48	Taxodium distichum	Common Bald Cypress	as shown	6' - 8' ht.	Heavy, full, vigorous
SHRUBS						
TBR	69	Taxus baccata "Repandens"	Spreading English Yew	36" o.c.	15" - 18"	Uniform growth; full, vigorous
NOTE: ON THE FOLLOWING ITEMS, COVERAGE AS PER SPECIFICATIONS AND DRAWINGS. CONTRACTOR TO VERIFY QUANTITIES						
+/- Cu. Yd.	18	Shredded Hardwood Mulch	Sample to be submitted to Landscape Architect for approval; 2 1/2" - 3" depth all beds			

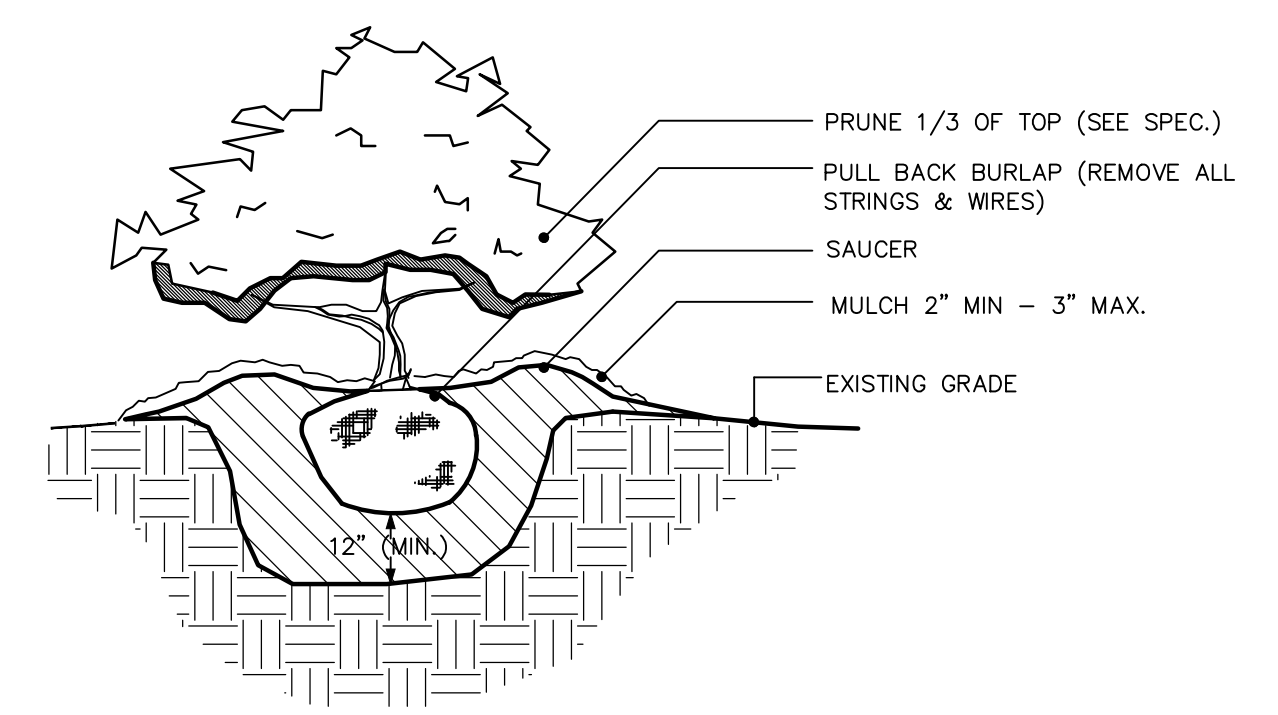


TOT LOT EXAMPLE
NOT TO SCALE

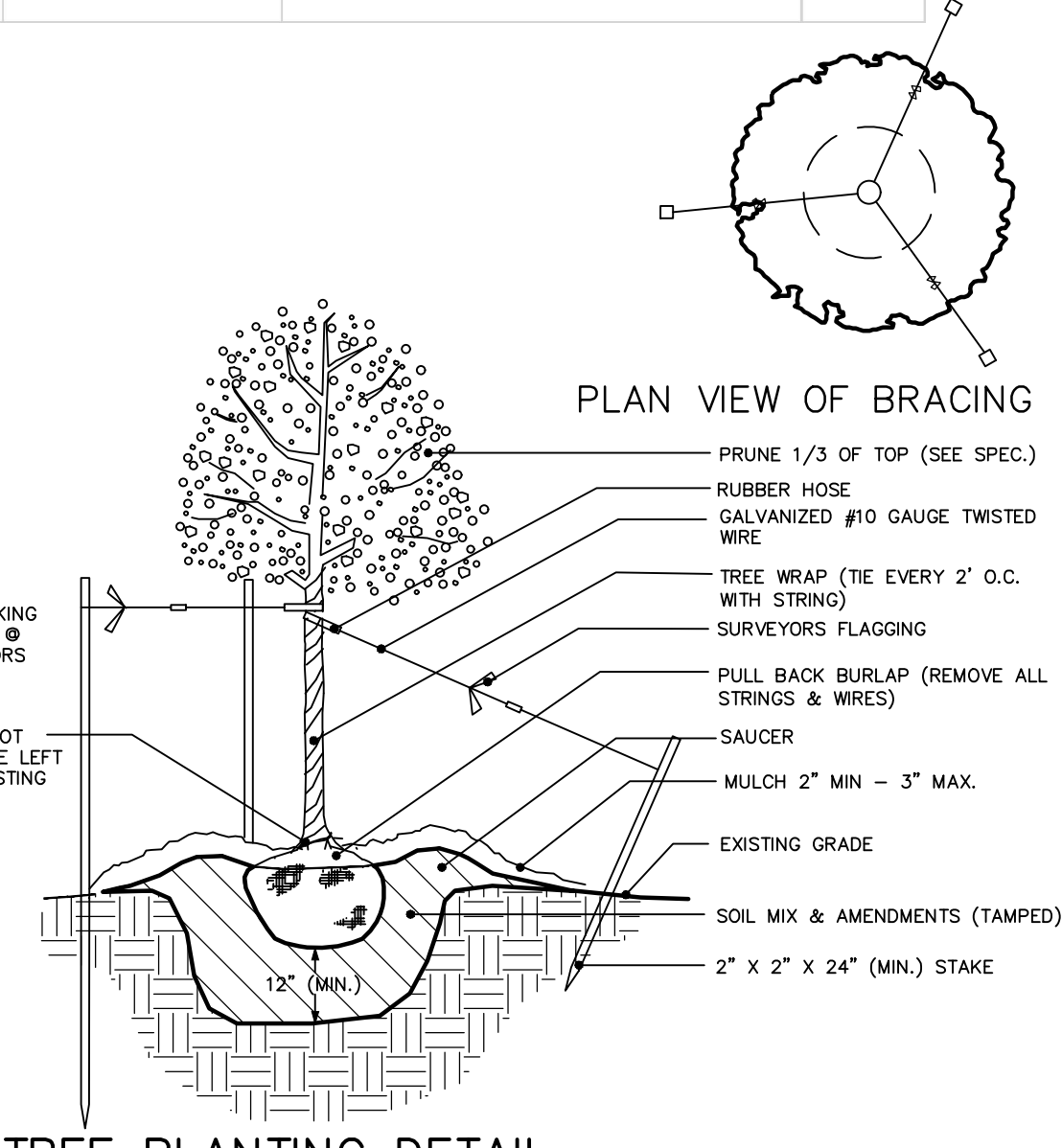
- TOT LOT NOTES:**
- PLAYGROUND SURFACE TO BE ENGINEERED RUBBER PLAYGROUND SAFETY MULCH, INSTALLED PER MANUFACTURER'S RECOMMENDATION (6" MINIMUM DEPTH).
 - PLAYGROUND STRUCTURE SHOWN IS AN EXAMPLE. ACTUAL STRUCTURE(S) TO BE CHOSEN BY DEVELOPER AT TIME OF AMENITY CONSTRUCTION.



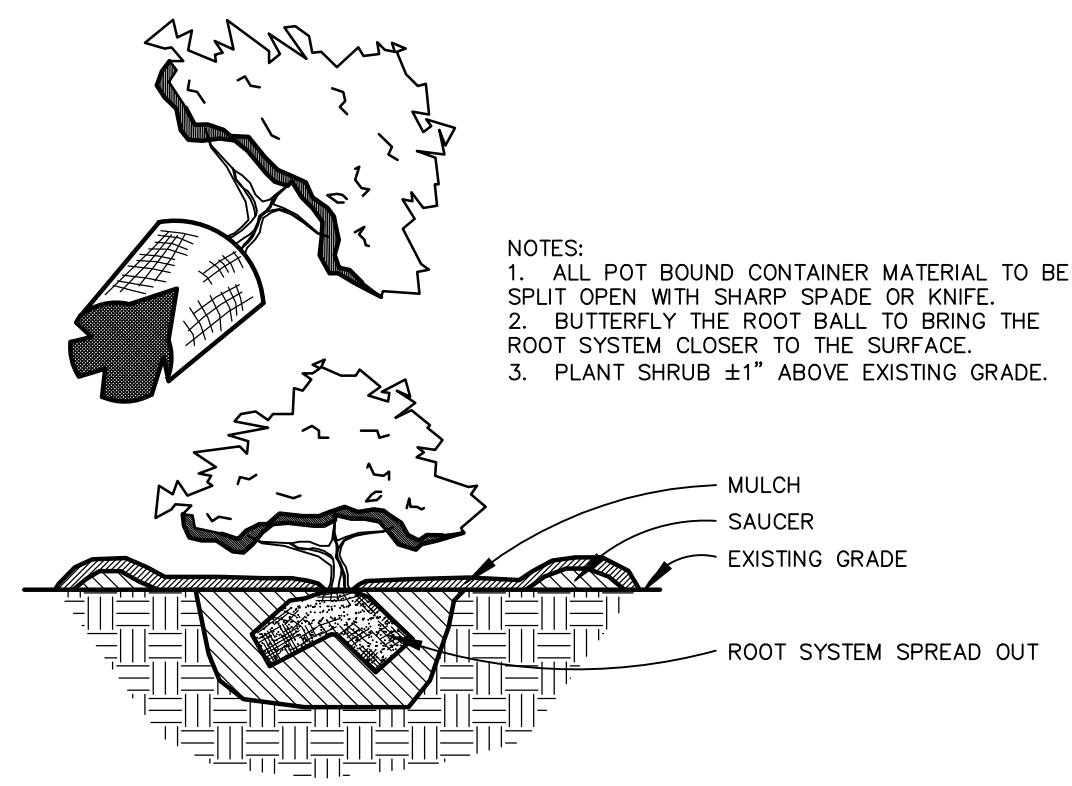
LANDSCAPE PLAN
SCALE: 1"=100'



SHRUB PLANTING DETAIL N.T.S.



TREE PLANTING DETAIL N.T.S.



CONTAINER PLANTING DETAIL N.T.S.

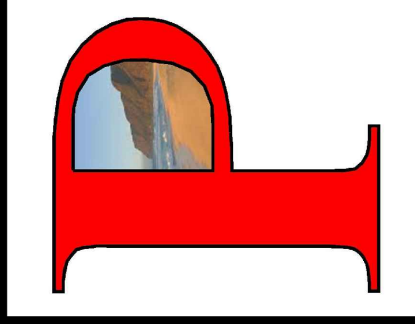
LANDSCAPE AND AMENITIES PLAN

REVISIONS

- 1/6/22 - Town Comments
- 1/21/22 - Additional Amenity Details

LAND DESIGN
Surveying / Landscape Architecture
Ink.
1000 Ocean View, DE 19970
302.531.1917 land@landdesign.com

PLITKO, LLC
53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919



EGRET SHORES
SUBSTATION ROAD (SCR 366)
TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE

SITE PLAN: TJF	DATE
DRAWING: RWB	11/11/21
REVIEW: RP	

L-100

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