

COASTAL KIDS PEDIATRIC DENTISTRY FINAL SITE PLAN MILLVILLE, DELAWARE

GENERAL NOTES:

- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 811 OR 1-800-292-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
- STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX CONSERVATION DISTRICT, AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. THE SITE IS TO BE TREATED BY GREEN TECHNOLOGIES, AND BMP FACILITIES SUCH AS DETENTION PONDS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNERS.
- TOPOGRAPHIC SURVEY DATA SHOWN HEREON WAS PREPARED BY THE TRUE NORTH LAND SURVEYING, IN SEPTEMBER, 2019. VERTICAL DATUM IS BASED ON NAVD 1988 DATUM. BOUNDARY SURVEY WAS TAKEN FROM PLAT ENTITLED BOUNDARY SURVEY, LANDS OF DMX PLACE, LLC, AS PREPARED BY THE TRUE NORTH LAND SURVEYING, DATED 12/06/18.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO DELAYS FROM SAID RELIANCE.
- THIS AREA OF DEVELOPMENT IS PARTIALLY IMPACTED BY THE 100 YEAR FLOOD PLAN, ZONE AE & ZONE A, AS SHOWN ON FIRM 10005C0511K.
- THERE ARE NO FRESH WATER WETLANDS LOCATED WITHIN THE IMPROVED AREA.
- ALL ROADS, PARKING AND OTHER PAVED AREAS WILL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING EXCAVATION MUST BE REMOVED AND PROPERLY DISCARDED.
- ALL HANDICAPPED PARKING DEMARICATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH THE "AMERICAN WITH DISABILITIES ACT."
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENT FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND RULES AND REGULATIONS THERETO APPURTENANT.
- BEFORE THE CONTRACTOR CAN BEGAIN CONSTRUCTION HE MUST OBTAIN THE PROPER PERMITS AND/OR APPROVALS FROM THE TOWN OF MILLVILLE, SUSSEX CONSERVATION DISTRICT (S.C.D.), DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT), SUSSEX COUNTY ENGINEERING DEPARTMENT AND APPROPRIATE STATE AND COUNTY AGENCIES.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE TOWN OF MILLVILLE AND THE STATE OF DELAWARE STANDARDS, SUSSEX COUNTY DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS.
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON THE SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.

SITE DATA:

OWNERS: COASTAL REAL ESTATE HOLDINGS, LLC
18947 JOHN J. WILLIAMS HWY, SUITE 309
REHOBOTH BEACH, DE 19971

LANDSCAPE ARCHITECT: LAND TECH LAND PLANNING, LLC
TAGART PROFESSIONAL CENTER
32895 SOUTH COASTAL HWY, SUITE 202
BETHANY BEACH, DE
PHONE: 302-539-2366
CONTACT: JEFF CLARK, RLA

TAX MAP: 134-12.00-343.00
DEED REFERENCE: 5516/114

EXISTING ZONING: C-1 COMMERCIAL DISTRICT

PROPOSED ZONING: C-1 COMMERCIAL DISTRICT

PROPOSED SITE DATA
TOTAL SITE AREA: 1.17 ACRES
PROPOSED BUILDING: DENTAL OFFICE (6,000 SF)
LOT COVERAGE PERMITTED: 60%
LOT COVERAGE PROPOSED: 48.9% (24,839 SF / 50783 SF)

PARKING CALCULATIONS:
REQUIRED PARKING: 20 (1 SPACE = 300 S.F. OF FLOOR AREA, 6,000 S.F. / 300 S.F. = 20)
PROVIDED PARKING: 38 SPACES

ADA ACCESSIBLE SPACES: 2 SPACES

BUILDING SETBACKS:
FRONT: 20'
SIDE: 15'
REAR: 30' SETBACK WHEN REAR LINE ABUTS A RESIDENTIALLY ZONED PARCEL

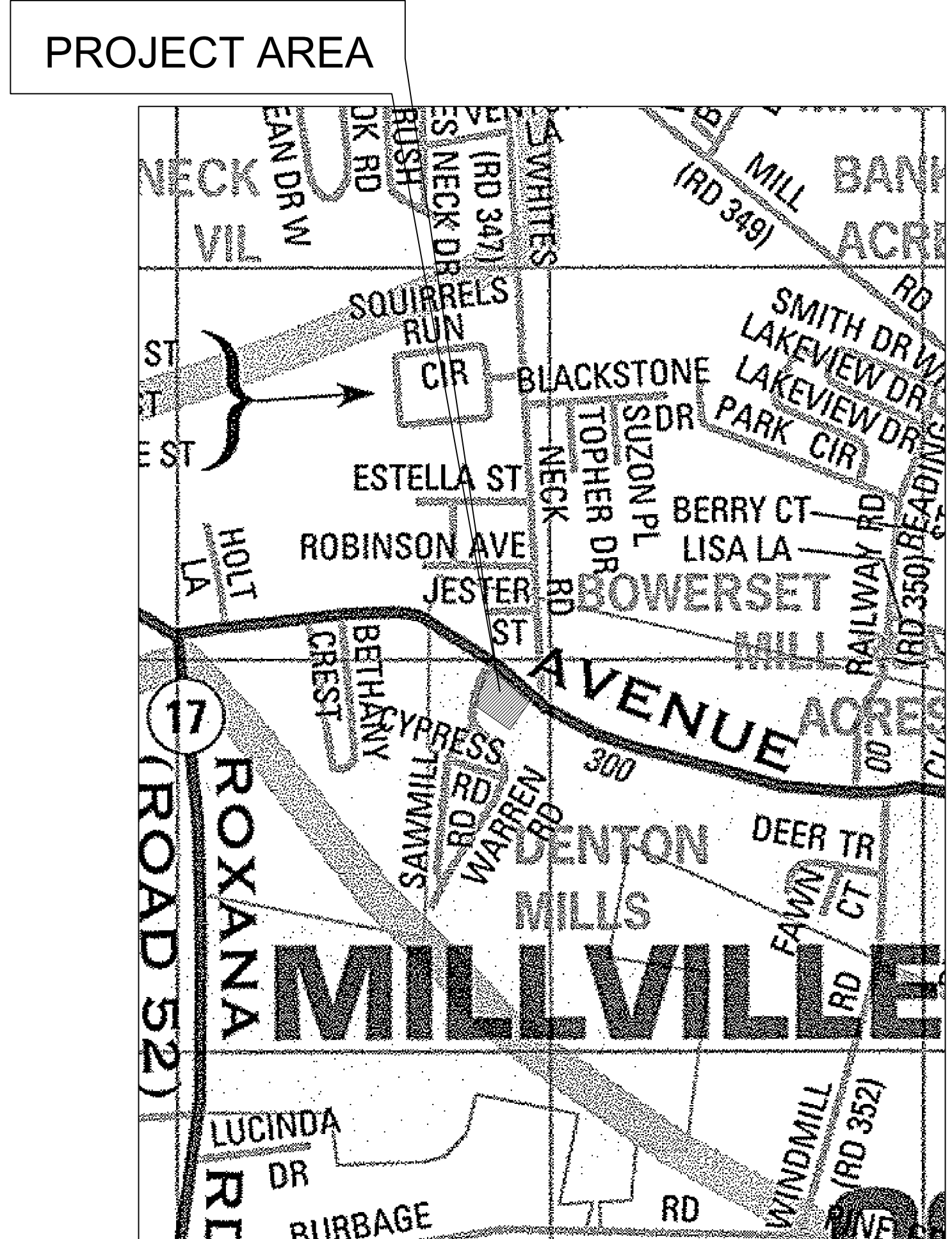
MAX BUILDING HEIGHT: 42'

FLOOD ZONE: ZONE AE9, ZONEAE10, ZONE X (UNSHADED), & ZONE X (SHADED), PER FIRM MAP 10005C0511K, DATED MARCH 16, 2015.

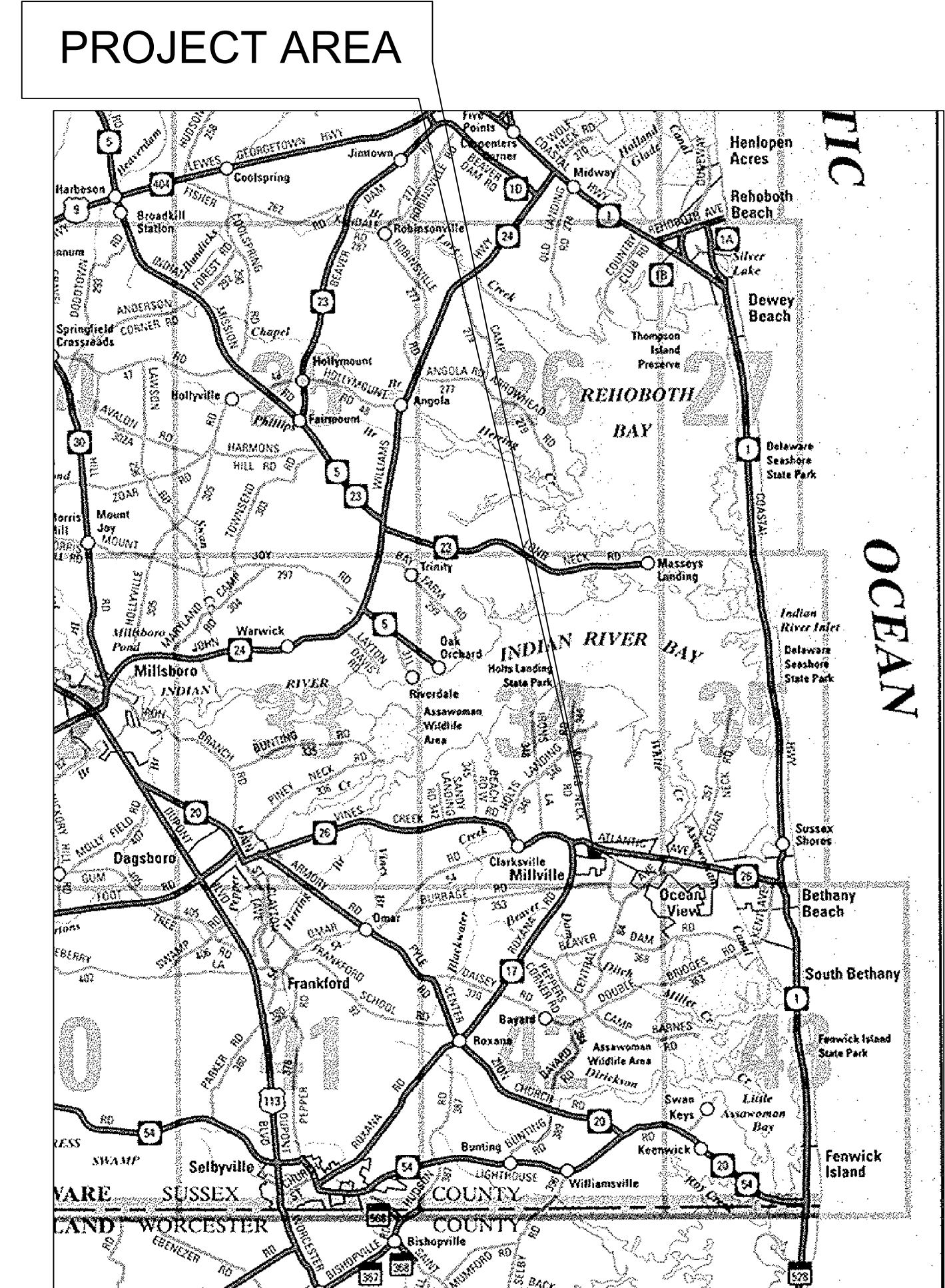
UTILITIES:
CENTRAL WATER: TIDEWATER UTILITIES, INC.
PUBLIC SEWER: SUSSEX COUNTY
SOURCE OF GAS: SUBURBAN NATURAL GAS
SOURCE OF ELECTRIC: DELMARVA POWER

LIST OF DRAWINGS

FSP1.0 COVER SHEET
FSP1.1 EXISTING CONDITIONS
FSP1.2 FINAL SITE PLAN



LOCATION MAP
SCALE: 1" = 500'



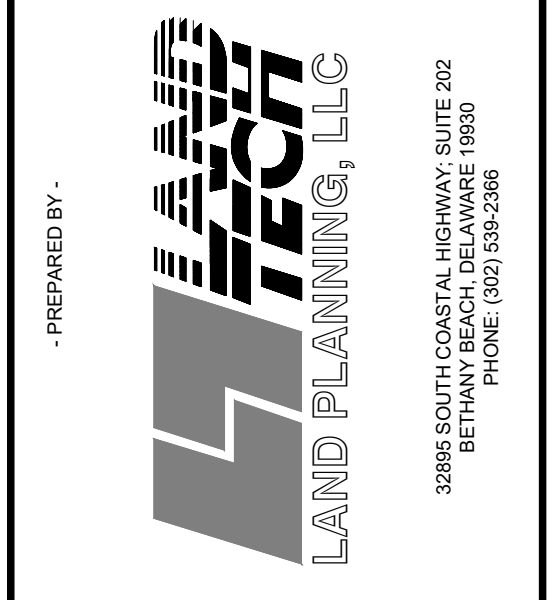
VICINITY MAP
SCALE: 1" = 1 MILE

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SETBACK LINE	---	---
EASEMENT	---	---
PROPERTY CORNER (NOT SPECIFIED)	○	N/A
CONCRETE MONUMENT FOUND	CMF □	CMF □
IRON PIPE FOUND	IP ●	N/A
CONTOUR	30	30
CURBING & EDGE OF PAVEMENT	---	---
SIDEWALK HATCH	---	---
PAVED PARKING	---	---
RIPRAP	N/A	---
EDGE OF POND	---	---
CURB INLET	□	□
STORM PIPE	---	---
SANITARY MANHOLE	○	○
SANITARY PIPE	SS	SS
WATER PIPE	W	W
UTILITY POLE	---	N/A
TREE LINE	---	N/A
FLOOD ZONES	---	N/A
ZONING BOUNDARY	---	---
DNREC SPECIAL ACCESS ROW	N/A	---
10' LANDSCAPE BUFFER	N/A	---
TAX DITCH PRONG	---	N/A

PRINTS ISSUED FOR REVIEW AND APPROVAL

DATE	REVISIONS	NO.



COASTAL KIDS PEDIATRIC
DENTISTRY
MILLVILLE, DELAWARE



COVER SHEET

LANDSCAPE ARCHITECT'S CERTIFICATION:
I, JEFFREY A. CLARK, RLA HEREBY CERTIFY THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD PLANNING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JEFFREY A. CLARK, RLA
OWNER: LAND TECH LAND PLANNING, LLC. DATE: 4/19/23

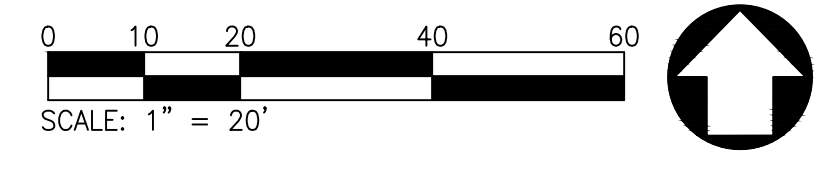
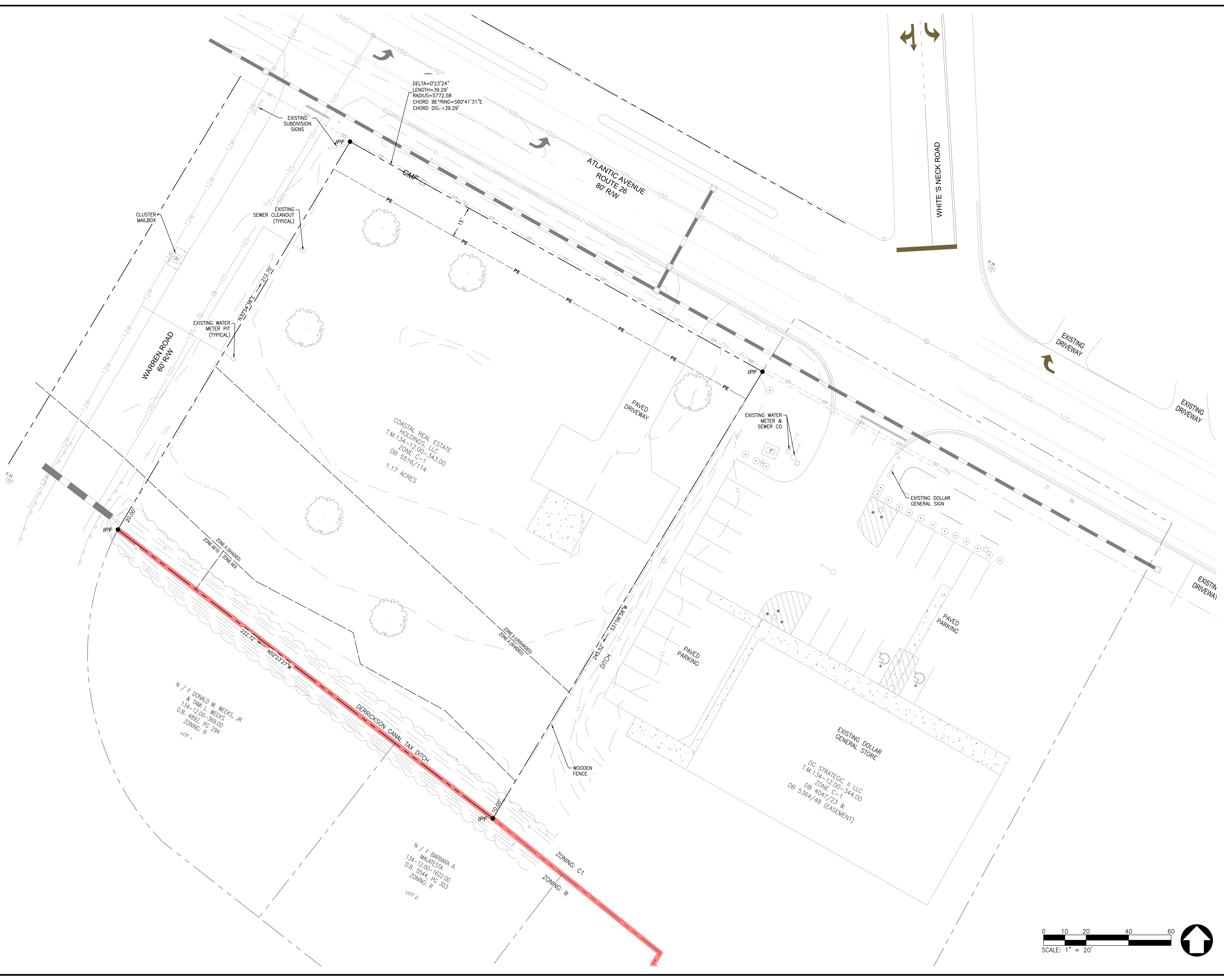
OWNER'S CERTIFICATION:
I HEREBY CERTIFY THAT I AM AN OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION. THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT THE SUSSEX CONSERVATION DISTRICT OR THEIR DESIGNATED AGENT SHALL HAVE RIGHT TO CONDUCT ON-SITE INSPECTIONS.

OWNER: DATE:

SCALE: AS NOTED	SHEET NO.
DESIGN BY: GK	FSP1.0
DRAWN BY: RFT	
CHECKED BY: CJP	
FILE: 220070	
DATE: APR 2023	

C:\Projects\220070 Coastal Kids Pediatric Dentistry\Drawings\Working\Site\Final Site Plan\FSP.1: EXISTING CONDITIONS.dwg, 4/19/2023, Christopher J. Pieler

PLOT CODE
 PENN-COAR .014 INCHES (35mm)
 PENN-GRN .210 INCHES (53mm)
 PENN-YELW .007 INCHES (18mm)
 PENN-BLU .007 INCHES (18mm)
 PENN-WHT .007 INCHES (18mm)
 PENN-MEDT .027 INCHES (70mm)
 PENN-WHT .029 INCHES (75mm)

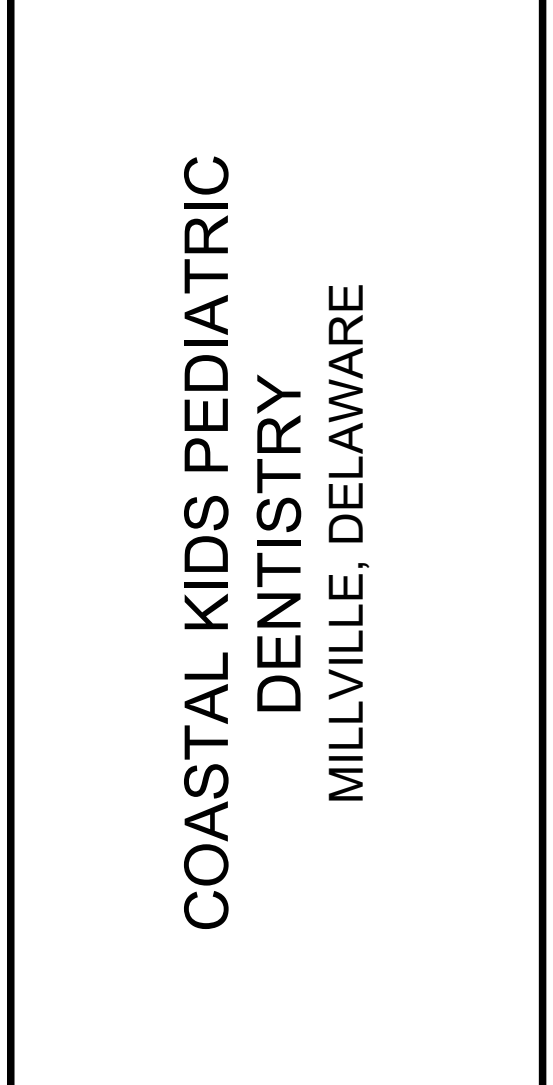


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DATE	
REVISIONS	
NO.	

PREPARED BY:

32508 SOUTH COASTAL HIGHWAY, SUITE 202
 BETHANY BEACH, DELAWARE 19803
 PHONE: (302) 339-2386

COASTAL KIDS PEDIATRIC
 DENTISTRY
 MILLVILLE, DELAWARE

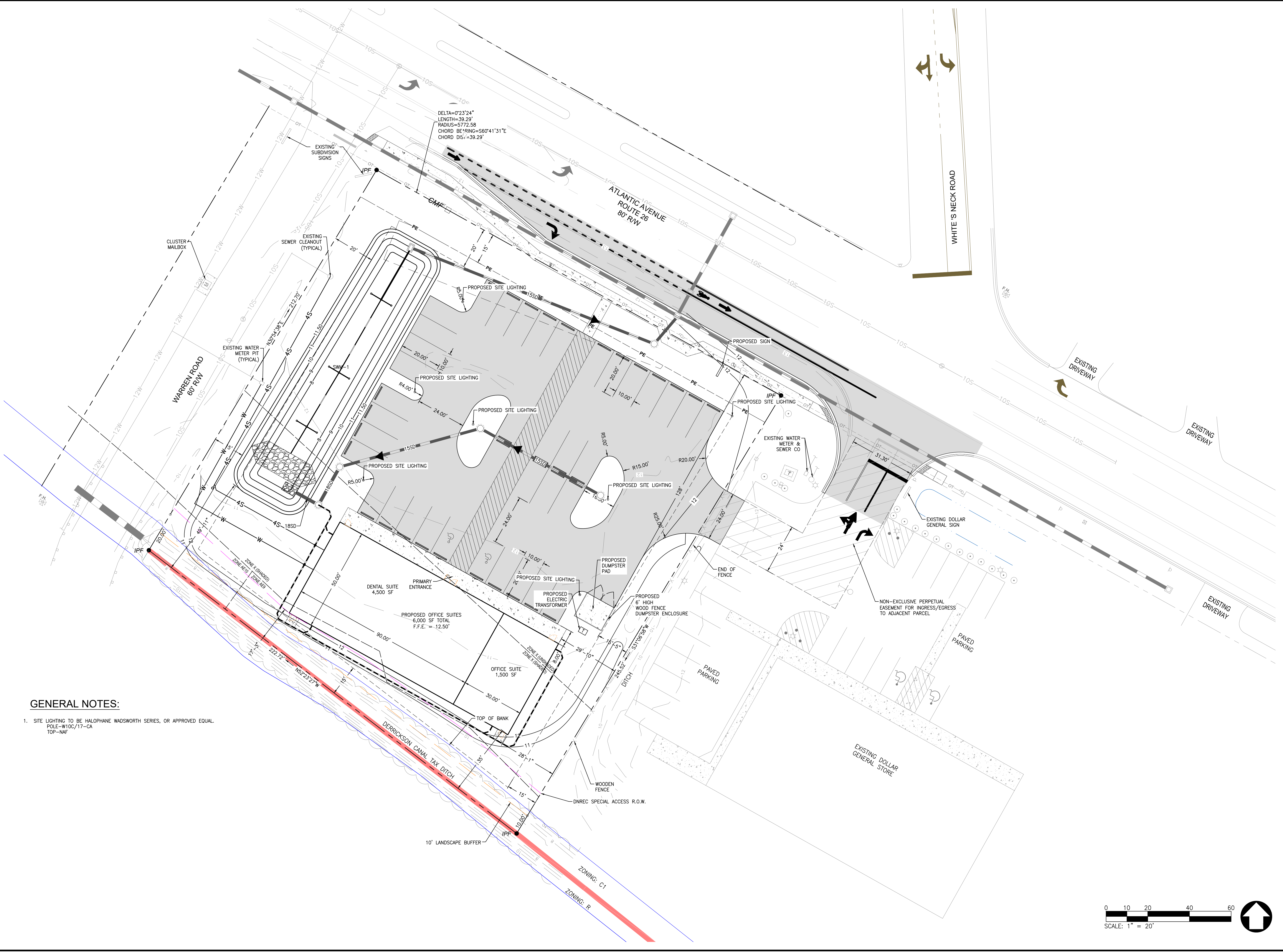


EXISTING
 CONDITIONS

SCALE: 1" = 20'	SHEET NO.
DESIGN BY: GK	FSP.1.1
DRAWN BY: RFT	
CHECKED BY: CJP	
FILE: 220070	
DATE: APR 2023	

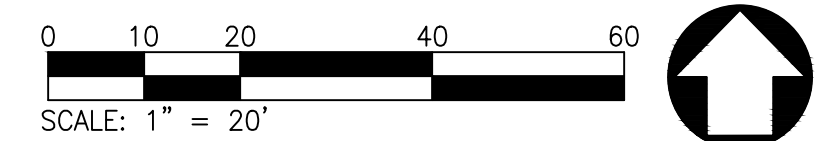
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PENT-RED 0.01 INCHES (1.0mm)
 PENT-YELLOW 0.07 INCHES (1.8mm)
 PENT-GREEN 0.10 INCHES (2.5mm)
 PENT-BLUE 0.20 INCHES (5.0mm)
 PENT-BLUE 0.20 INCHES (5.0mm)
 PENT-BLUE 0.20 INCHES (5.0mm)
 PENT-BLUE 0.20 INCHES (5.0mm)
 PENT-BLUE 0.20 INCHES (5.0mm)
 PENT-BLUE 0.20 INCHES (5.0mm)



GENERAL NOTES:

- SITE LIGHTING TO BE HALOPHANE WADSWORTH SERIES, OR APPROVED EQUAL.
POLE-W10C/17-CA
TOP-NAF

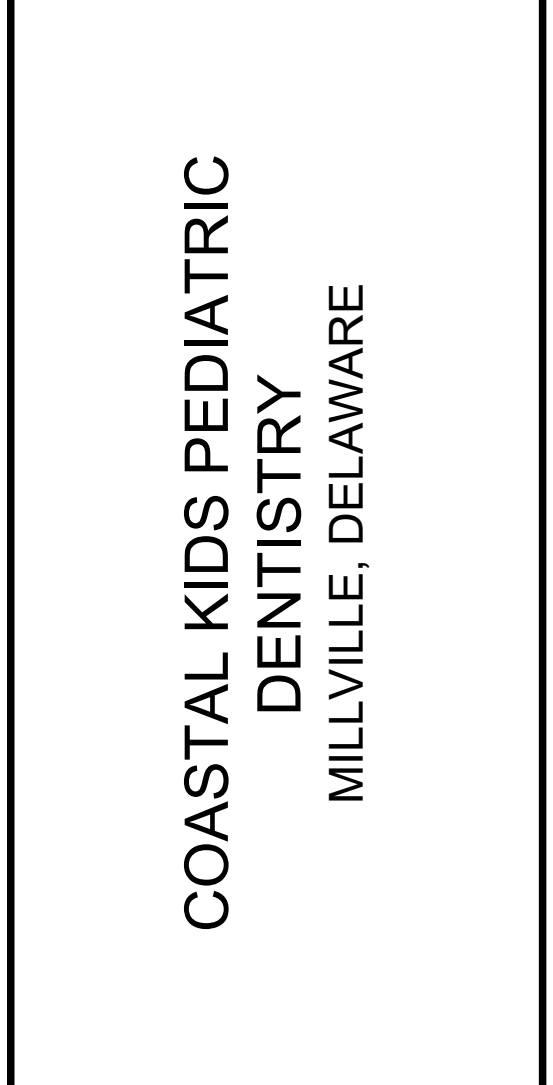


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PREPARED BY:

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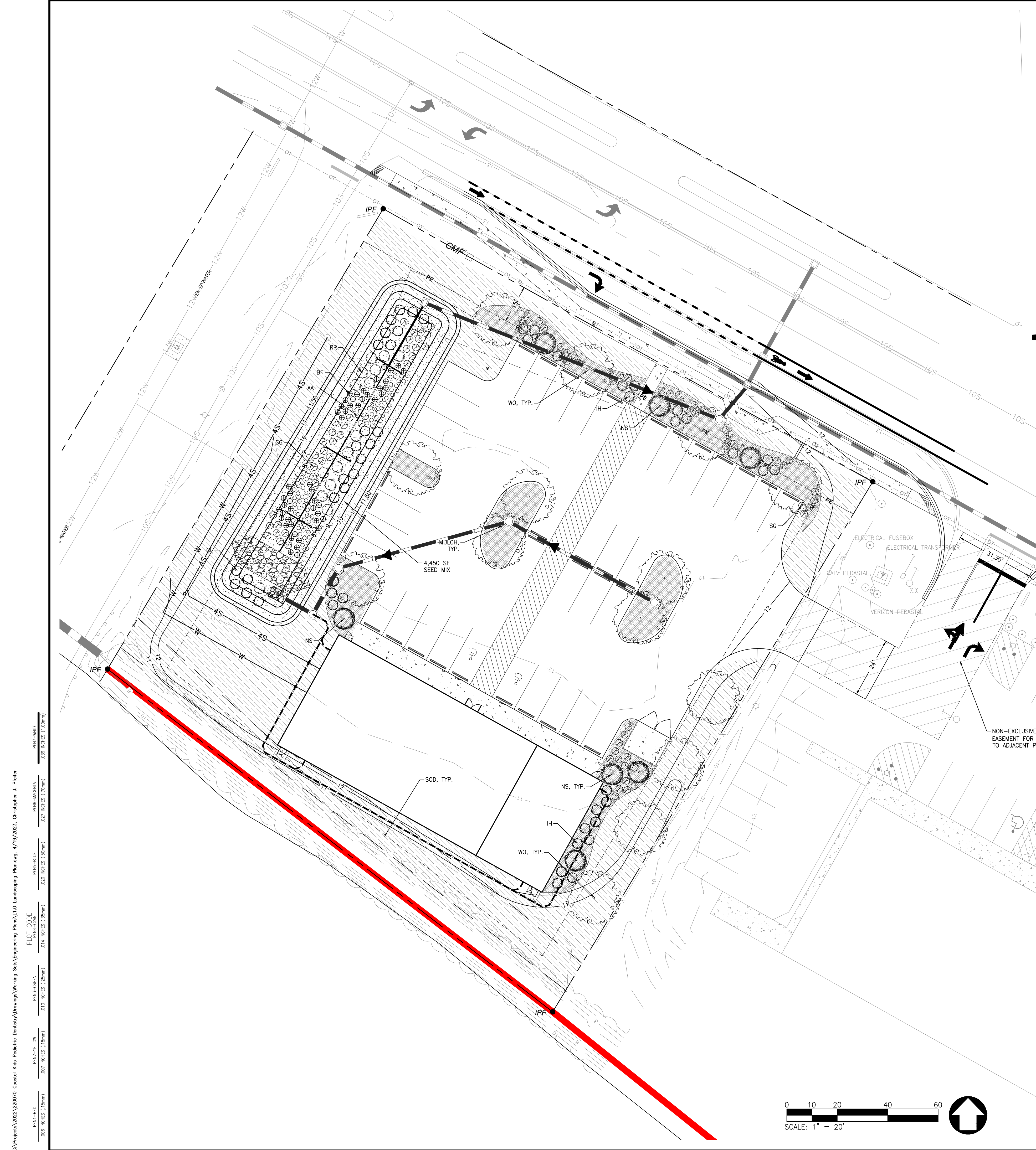
COASTAL KIDS PEDIATRIC
 DENTISTRY
 MILLVILLE, DELAWARE



FINAL SITE PLAN

SCALE: 1" = 20'	SHEET NO.
DESIGN BY: GK	FSP1.2
DRAWN BY: RFT	
CHECKED BY: CJP	
FILE: 220070	
DATE: APR 2023	

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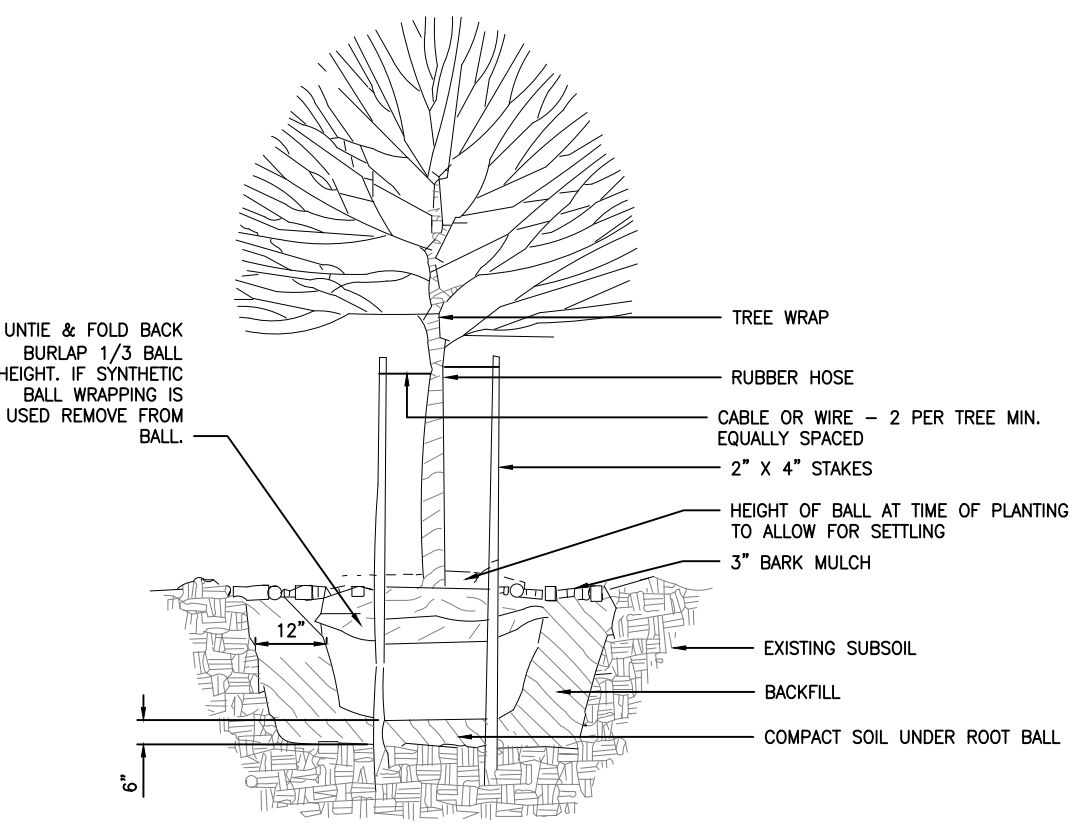
LANDSCAPING GENERAL NOTES:

1. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN), PARTICULARLY WITH REGARDS TO SITE, GROWTH AND SIZE OF BALL AND DENSITY OF BRANCH STRUCTURE.
2. CONTRACTOR IS TO ENSURE CONFORMANCE TO NATIONAL AND LOCAL BUILDING CODES AND ORDINANCES.
3. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED HERETO BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE OWNER'S REPRESENTATIVE.
4. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE OWNER'S REPRESENTATIVE IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. THE CONTRACTOR SHALL REMOVE ALL REJECTED MATERIAL FROM THE SITE.
5. THE CONTRACTOR SHALL FURNISH ALL PLANTS IN QUANTITIES AND SIZES TO COMPLETE THE WORK AS SPECIFIED IN THE PLANT SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES ON THE PLANS PRIOR TO THE COMMENCEMENT OF WORK. QUANTITIES IN THE PLANT SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND DO NOT CONSTITUTE THE FINAL COUNT.
6. SUBSTITUTION IN PLANT SPECIES OR SIZE SHALL NOT BE PERMITTED EXCEPT WITH THE WRITTEN APPROVAL BY A REGISTERED LANDSCAPE ARCHITECT WITH A DEMONSTRATED KNOWLEDGE IN WETLAND SPECIES.
7. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS AND BY SCALING OR AS DESIGNED IN THE FIELD BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL LOCATE AND MARK ALL UNDERGROUND UTILITY LINES AND IRRIGATION SYSTEMS PRIOR TO EXCAVATING PLANT BEDS OR PITS. ALL UTILITY EASEMENT AREAS WHERE NO PLANTING SHALL TAKE PLACE SHALL ALSO BE MARKED ON THE SITE PRIOR TO LOCATING AND DIGGING THE TREE PITS. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS OTHER LOCATIONS FOR THE TREES SHALL BE SELECTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. SUCH CHANGE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
9. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
10. DURING PLANTING OPERATIONS, EXCESS AND WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THIS SITE.
11. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREE PITS, SHRUB BEDS AND PLANTERS ARE WELL DRAINED. THE LANDSCAPE CONTRACTOR WILL REPLACE ALL PLANT MATERIAL WHICH IS AFFECTED BY POOR DRAINAGE, AT NO CHARGE TO THE OWNER.
12. ALL PLANTS ARE TO BE HANDLED WITH THE BEST CARE AND ATTENTION TO ENSURE THAT THE PLANTS ARE NOT BRUISED, BROKEN, TORN, DAMAGED IN ANY WAY WHICH WILL AFFECT THE PLANTS GENERAL APPEARANCE AND WELL BEING.
13. THE LANDSCAPE CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL AND OTHER WORK DONE ON SITE. THIS WARRANTY WILL BEGIN AT EITHER SUBSTANTIAL COMPLETION OR AT FINAL ACCEPTANCE AS DETERMINED BY THE OWNER.
14. THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
15. STORMWATER PLANTS ARE TO BE SUPPLIED BY A CERTIFIED WETLAND NURSERY.

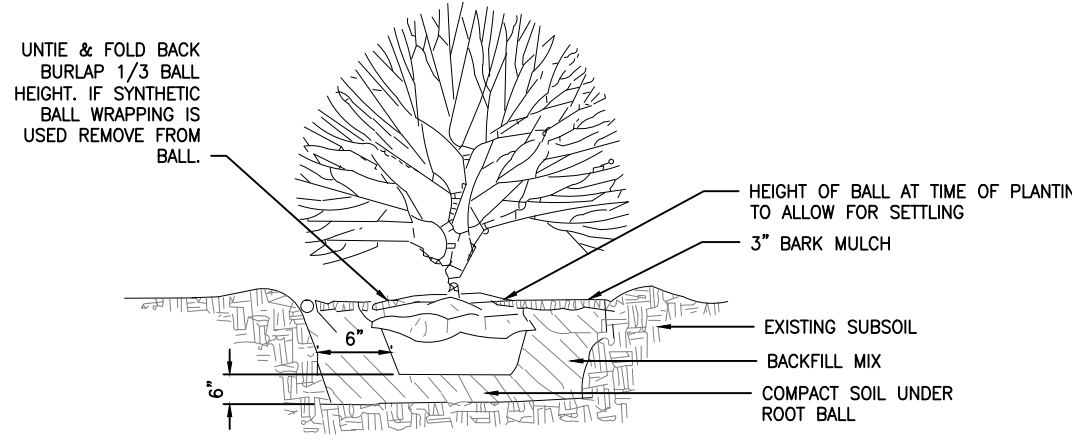
PLANTING LEGEND:

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	NOTES
WO	14	WILLOW OAK	QUERCUS PHELLOS	3" CAL.	AS SHOWN	DOMINANT LEADER
NS	07	NELLIE STEVENS HOLLY	ILEX X. 'NELLIE R. STEVENS'	6-8' HT.	AS SHOWN	HEALTHY, FULL, VIGOROUS
CL	51	SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	3 GAL. CONT.	AS SHOWN	HEALTHY, FULL, VIGOROUS
RR	16	BEACH ROSE	ROSA RUGOSA	3 GAL. CONT.	AS SHOWN	HEALTHY, FULL, VIGOROUS
SG	84	SWITCHGRASS	PANICUM VIRGATUM 'SHEVADOAH'	1 GAL. CONT.	AS SHOWN	HEALTHY, FULL, VIGOROUS
BF	50	BLUE FLAG IRIS	IRIS VERSICOLOR	1 GAL. CONT.	AS SHOWN	HEALTHY, FULL, VIGOROUS
AA	88	ARROW ARUM	PELTANDRA VIRGINICA	1 GAL. CONT.	AS SHOWN	HEALTHY, FULL, VIGOROUS

17,803 SF	SOD	TURF TYPE TALL FESCUE
4,070 SF	MULCH	DOUBLE SHREDDED HARDWOOD MULCH
4,450 SF	BIORETENTION SEED MIX	ERNMX-734 MD COASTAL PLAIN FRESHWATER OBL MIX 15 LBS. PER ACRE



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPE ARCHITECT'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE.

JEFFREY A. CLARK, R.L.A. DATE
LAND TECH LAND PLANNING, LLC.

PRINTS ISSUED FOR REVIEW AND APPROVAL

DATE	REVISIONS	NO.

PREPARED BY: LAND TECH LAND PLANNING, LLC
 32808 SOUTH COASTAL HIGHWAY, SUITE 202
 BETHANY BEACH, DELAWARE 19903
 PHONE: (302) 339-2386

COASTAL KIDS PEDIATRIC DENTISTRY
MILLVILLE, DELAWARE



LANDSCAPING PLAN

SCALE: 1" = 20'	SHEET NO.
DESIGN BY: KK	L1.0
DRAWN BY: RFT	
CHECKED BY: KK	
FILE: 220070	
DATE: NOV 2022	

PLOT CODE
 PEN-YELLOW: 0.07 INCHES (1.8mm) PEN-BLUE: 0.07 INCHES (1.8mm) PEN-CYAN: 0.07 INCHES (1.8mm) PEN-RED: 0.07 INCHES (1.8mm) PEN-MAGENTA: 0.07 INCHES (1.8mm) PEN-ORANGE: 0.07 INCHES (1.8mm) PEN-GREEN: 0.07 INCHES (1.8mm) PEN-PURPLE: 0.07 INCHES (1.8mm) PEN-BLACK: 0.07 INCHES (1.8mm) PEN-WHITE: 0.07 INCHES (1.8mm)