



36404 CLUBHOUSE ROAD  
MILLVILLE, DE 19967



INDEX OF DRAWINGS:

230077 MILLVILLE TOWN HALL LOBBY & BREAKROOM	
2021 INTERNATIONAL EXISTING BUILDING CODE	
2021 INTERNATIONAL BUILDING CODE	
NFPA 2021	



GENERAL NOTES:

1. THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATIONS OF APPROVALS REQUIRED IN CONNECTION WITH ALL WORK UNDER THIS CONTRACT.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE FINAL CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND PROJECT CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS AND OMISSIONS THAT WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE PROJECT.
3. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS BEFORE EXECUTION OF ANY WORK, AND, ANY VARIANCES OR INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND IN WRITTEN FORM EITHER ON THE DRAWINGS OR IN A LETTER.
4. AFTER SITE WORK IS COMPLETED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT, IN WRITING, OF ANY CONDITIONS THAT ARE MADE EVIDENT THAT WILL CONFLICT WITH THE COMPLETION OF THE PROJECT OR REQUIRE ADDITIONAL WORK TO MEET THE REQUIREMENTS OF THE NEW SCOPE OF WORK REQUIRED BY THE CONTRACT.
5. THE CONTRACTOR AGREES TO WORK WITH THE ARCHITECT IN RESOLVING CONFLICTS IN A TIMELY MANNER, INCLUDING CONCEALED OR UNANTICIPATED CONDITIONS THAT AFFECT THE WORK OF THIS CONTRACT.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT.
7. IN ALL CASES, DRAWINGS SHALL NOT BE SCALED FOR INFORMATION. FIGURED DIMENSIONS SHALL GOVERN THE WORK AND ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD.
8. THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ANY MODIFICATION OR DEVIATIONS FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DELIVER TO THE ARCHITECT A COMPLETE SET OF 'AS-BUILT' DRAWINGS PRIOR TO APPROVAL OF FINAL PAYMENT.
9. THE CONTRACTOR SHALL NOT MAKE, CAUSE TO BE MADE, OR PERMIT A SUBCONTRACTOR OR STAFF MEMBER OR LOCAL REPRESENTATIVE OF THE OWNER TO MAKE ANY CHANGES TO WHAT IS SPECIFIED ON THE DRAWINGS WITHOUT SPECIFIC AUTHORIZATION OF THE ARCHITECT.
10. THE CONTRACTOR SHALL PROVIDE BLOCKING AS NECESSARY FOR ALL CONTRACTOR-SUPPLIED AND ALL OWNER-SUPPLIED EQUIPMENT, CASEWORK AND FIXTURES. COORDINATE BLOCKING LOCATIONS AND SIZES WITH OWNER PRIOR TO ENCLOSING WALLS.
11. FOLLOW 2010 ADA ACCESSIBILITY GUIDELINES FOR NEW FIXTURE HEIGHTS AND CLEARANCES REQUIRED.

LOBBY AND BREAKROOM RENOVATION  
FOR:  
**MILLVILLE TOWN HALL**  
MILLVILLE, DELAWARE

COVER SHEET

SCALE	: NOT TO SCALE
DESIGN BY	: MHH
DRAWN BY	: LKW, AJB
CHECKED BY	: MHH
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g:\Projects\2023\230077 town hall lobby & breakout schem design\Drawings\Working sets\G1.1 SPECIFICATIONS.dwg, 9/19/2023 3:22 PM, Lee K. Whaley

OUTLINE SPECIFICATIONS

GENERAL

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CODES, AND RULES AND REGULATIONS OF THE REGULATORY AGENCIES HAVING JURISDICTION OVER THIS PROJECT AND ITS LOCATION.
- FURNISH REQUIRED CONSTRUCTION AIDS, BARRIERS, TEMPORARY ENCLOSURES AND SAFETY AIDS NECESSARY TO ACCOMPLISH THE WORK IN A SAFE AND EFFICIENT MANNER, IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. REMOVE UPON COMPLETION OF WORK.
- EXECUTE PROPER CLEANING DAILY DURING THE PROGRESS OF THE WORK AND AT COMPLETION OF THE JOB.
- ALL CONTRACTORS SHALL BE LICENSED IN THE STATE OF DELAWARE.
- CONTRACTOR SHALL SELECT, EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM SPECIFIED INSPECTION, SAMPLING AND TESTING WHERE SPECIFIED IN BID DOCUMENTS.
- COMPLY WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS FOR FURNISHING REQUIRED CONSTRUCTION AIDS AND BARRIERS FOR PERFORMANCE OF THE WORK.

SUBSTITUTIONS

- WHERE SPECIFIC MANUFACTURERS AND MODEL NUMBERS ARE SHOWN, OWNER MAY CONSIDER SUBSTITUTION REQUESTS, PRIOR TO BID, OF EQUIVALENT OR SUPERIOR FUNCTION, APPEARANCE AND QUALITY, WHEN CERTIFIED IN WRITING BY PROPOSER AND ACCEPTED IN WRITING BY THE ARCHITECT/ENGINEER

02 41 00 - DEMOLITION

- DEMOLITION OF SYSTEMS MUST OCCUR IN A MANNER THAT ALLOWS OWNER'S OPERATIONS TO CONTINUE DURING CONSTRUCTION. THE CONTRACTOR SHALL DEMOLISH, REMOVE, AND OR DISPOSE OF ALL ITEMS NECESSARY FOR THE ACCOMPLISHMENT OF THE PROJECT.
- PERSONNEL SAFETY: PERFORM WORK IN A SAFE MANNER IN ORDER TO AVOID ACCIDENTS AND PROPERTY DAMAGE. WORKMEN MUST BE EXPERIENCED IN THIS TYPE OF WORK. EQUIPMENT SHOULD BE OF SUITABLE TYPE, IN GOOD WORKING CONDITION, AND OPERATED BY SKILLED OPERATORS.
- PREVENT ACCESS OF UNAUTHORIZED PERSONS.
- UTILITY REMOVAL, RELOCATION, ETC., SHALL BE SEQUENCED SUCH THAT UTILITY SERVICE TO EXISTING BUILDING SHALL NOT BE INTERRUPTED WITHOUT PROPER NOTIFICATION TO OTHER TENANTS OR PUBLIC SPACES.
- SALVAGE: CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONDUCT WALK THROUGH OF BUILDING PRIOR TO COMMENCEMENT OF WORK TO IDENTIFY NECESSARY ITEMS.

06 10 00- ROUGH CARPENTRY

- PRESERVATIVE AND NON-TREATED LUMBER, FASTENINGS, AND OTHER ITEMS NEEDED FOR ROUGH CARPENTRY. SIZES: AS SHOWN ON THE DRAWINGS OR AS REQUIRED FOR CONDITIONS.
- FRAMING LUMBER: IDENTIFY FRAMING LUMBER BY GRADE STAMP OF THE APPROPRIATE LUMBER INSPECTION AGENCY.  
STRUCTURAL FRAMING: 2X3 TO 3X12. SOUTHERN PINE 1200# FIBER STRESS FOR EXTERIOR.  
SOUTHERN PINE FIR NO. 2, FB= 875 PSI, FOR INTERIOR.
- PRESERVATIVE TREATED WOOD: SOUTHERN YELLOW PINE. SPIB GRADE #2.  
NAILERS, SILLS, FURRING, STRIPPING & SIMILAR ITEMS IN CONTACT WITH CONCRETE, MASONRY AND STEEL.
- LAG SCREWS: FED. SPEC. FF-B-561
- NAILS: FED. SPEC. FF-N-105. USE GALVANIZED OR STAINLESS STEEL 304 OR 316 FASTENERS AT EXTERIOR LOCATIONS AND WITH PRESERVATIVE TREATED LUMBER.
- ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE, TIGHT, AND WELL NAILED, WITH ALL MEMBERS ASSEMBLED IN ACCORD WITH DRAWINGS AND PERTINENT CODES AND REGULATIONS.

06 20 00 - FINISH CARPENTRY

- FINISH CARPENTRY WORK AS SHOWN ON THE DRAWINGS AND IN SCHEDULES. SIZES: AS SHOWN ON DRAWINGS.
- CONDITION WOODWORK TO AVERAGE PREVAILING HUMIDITY CONDITIONS IN INSTALLATION AREAS PRIOR TO INSTALLING.
- INSTALL MATERIALS PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. CUT TO FIT TO EXACT SIZE. WHERE WOODWORK ABUTS OTHER FINISHED WORK, SCRIBE AND CUT FOR ACCURATE FIT. BEFORE MAKING CUTOUTS, DRILL PILOT HOLES AT CORNERS.

07 21 00 - INSULATION

- BATT INSULATION: GLASS FIBER KRAFT FACED WITH STAPLE FLANGE, ASTM C665, TYPE II, CLASS C.
- UN-FACED GLASS FIBER FOR SOUND BATT, ASTM C655, TYPE I. INSULATION BLANKETS, THERMAL (MINERAL FIBER) OF THE INDICATED THICKNESS.

07 92 00 - SEALANTS AND CAULKING

- ONE-PART ACETOXY SILICONE, HIGH-MODULUS ACID CURE, FDA APPROVED OR AS RECOMMENDED BY MANUFACTURER OF SPECIFIC SYSTEMS OR APPLICATIONS.
  - PECORA CORPORATION, HARLEYSVILLE, PA 19438.

08 14 00 - SOLID WOOD DOORS

- INTERIOR DOORS: CENDURA COMMERCIAL GRADE SCL CORE 6-PANEL MOLDED EMBOSSED SURFACE WITH HARDWOOD EDGES.FINISH: FACTORY PRIMED FOR FIELD PAINTING.
- MANUFACTURER SHALL EXTEND A LIMITED LIFETIME WARRANTY.
  - VT INDUSTRIES, HOLSTEIN, IA 51025.

08 11 13 - HOLLOW METAL DOORS & FRAMES

- FRAMES: LEVEL 2 HEAVY-DUTY SEAMLESS DESIGN, 16 GAUGE FRAMES. PROVIDE WELDED UNIT TYPES. SLIP-ON TYPES ACCEPTABLE AT DRYWALL PARTITIONS ONLY.
- BULLET-RESISTANT FRAMES: AMORCORE BALLISTIC CORE CERTIFIED AND THIRD-PARTY TESTED IN ACCORDANCE WITH UL752 AND NIJ STANDARDS. BULLET PROTECTION RATINGS FOR UL752 LEVEL 3.
- SHEET STEEL FOR DOORS AND FRAMES: COLD ROLLED STEEL: ASTM A366 OR A620; HOT ROLLED STEEL: ASTM A569, TYPE B. GALVANIZED STEEL: ASTM A 653 WITH A40/ZF120 COATING MINIMUM. LEVEL 3 BULLET RESISTANT CECO DOOR PRODUCTS, MILAN, TN 38358.

08 56 59 - SERVICE & TELLER WINDOWS

- ALUMINUM SERVICE WINDOW WITH RECESSED TRAY, COMMERCIAL GRADE, GLAZING AND RELATED ITEMS: TSS HORIZONTAL SLIDER INTERIOR TRANSACTION WINDOW, 48" x 48" WITH STAINLESS STEEL RECESSED CURRENCY TRAY AND COUNTER.
- UL 752 LEVEL 3 BULLET-RESISTANT.
- FINISH: CLEAR ANODIZED ALUMINUM AND #4 FINISH STAINLESS STEEL
  - TOTAL SECURITY SOLUTIONS, INC., FOWLerville, MI 48836.

08 71 00 - DOOR HARDWARE

- HINGES, LOCKSETS, THRESHOLDS, CLOSERS, WEATHERSTRIPPING AND OTHER HARDWARE REQUIRED FOR A COMPLETED ASSEMBLY. HEAVY DUTY USAGE COMFORMING TO APPLICABLE PROVISIONS OF BHMA A156.
- BUTT HINGES: MCKINNEY T4A3386 SS BASE. OUTSWING LOCKABLE DOORS SHALL HAVE NRP HINGES. EXTERIOR LOCKABLE DOORS SHALL HAVE NRP AND SSF HINGES. WIDTH OF HINGE SHALL BE SUFFICIENT TO DOOR TRIM & WALL FINISHES. SIZE 4 1/2" X 4 1/2" FOR DOORS UP TO 3'-0" IN WIDTH, 5" X 4 1/2" FOR DOORS > 3'-0"
- LOCKSET: CONFORM TO BHMA A156.13
- CYLINDERS: CONFORM TO BHMA A156.5
- CLOSERS: YALE 4400 SERIES. PROVIDE WITH NON-FERROUS COVERS, SEPARATE VALVES FOR ADJUSTING BACK CHECK, DELAYED ACTION, CLOSING AND LATCHING CYCLES, AND ADJUSTABLE SPRING TO PROVIDE SIZES 1 THROUGH 6. PROVIDE NON-SIZED CLOSERS, ADJUSTABLE TO MEET MAXIMUM OPENING FORCE REQUIREMENTS OF ADA. PROVIDE DROP PLATES, BRACKETS, OR ADAPTERS FOR ARMS AS REQUIRED TO SUIT APPLICATION. MOUNTING: ROOM SIDE OF CORRIDOR DOOR & INSIDE OF EXTERIOR DOORS, OR AS OTHERWISE RECOMMENDED FOR OPTIMUM AESTHETICS. PROVIDE FORGED HEAVY DUTY PARALLEL ARMS, NON-HOLD OPEN TYPES.
  - YALE, BERLIN, CT 06037.
- WALL STOPS: MCKINNEY WS03 SERIES WALL STOP. ALL STOPS TO BE CAST, WROUGHT STOPS ARE NOT ACCEPTABLE.
  - MCKINNEY DOOR & HARDWARE, INC., PUEBLO, CO 81003.
- PROTECTION PLATES: MCKINNEY KP50 SERIES PROTECTION PLATES. KICK PLATES: 8" HEIGHT. WIDTH SHALL BE 2" LESS DOOR WIDTH ON PUSH SIDE AND 1" LESS DOOR WIDTH ON PULL SIDE. MATERIAL: STAINLESS STEEL, 0.05" THICK, COUNTERSUNK MOUNTING HOLES AND BEVELED FOUR EDGES.
- THRESHOLDS & GASKETS: MCKINNEY MCK2005 SERIES STOP THRESHOLD, MCK588 SERIES SMOKE GASKET, MCK18062 SERIES DOOR SWEEP, MCK346 SERIES RAIN DRIP.
- FINISH SATIN STAINLESS STEEL, BHMA CODE 630.
- KEYING: KEYING REQUIREMENTS TO BE COORDINATED AND COMPLETED WITH OWNER'S APPROVAL.
- ELECTRIC STRIKES: HES 9600 SERIES.
- ACCESS CONTROL: TO BE COORDINATED WITH OWNER'S VENDOR.
- BALLISTIC RATED HARDWARE WHERE SCHEDULED.

09 21 16 - GYPSUM BOARD SYSTEMS

- CONFORM TO ASTM C 36, 5/8 INCH THICK, TAPERED EDGES, TYPE-X.
- PROVIDE MANUFACTURER RECOMMENDED JOINT TAPE, JOINT COMPOUND, FASTENERS, AND ACCESSORIES AS RECOMMENDED BY MANUFACTURER.
- FINISH U.O.N.: LEVEL 4 PER ASTM C840.
- PROVIDE MANUFACTURER RECOMMENDED JOINT TAPE, JOINT COMPOUND, FASTENERS, AND ACCESSORIES AS RECOMMENDED BY MANUFACTURER.
- WET-ROOM WALLBOARD: WATER RESISTANT WALL BOARD, CONFORM TO ASTM C 1396 WATER-REPELLENT-TREATED CORE, MOLD RESISTANT, TAPERED EDGE, 5/8 INCH THICK, TYPE-X.
- USG FIBEROCK INTERIOR PANEL OR APPROVED SUBSTITUTION.
  - U.S. GYPSUM CO., CHICAGO, IL 60606.

09 65 00 - RESILIENT FLOORING

- LUXURY VINYL TILE FLOORING: MEETS ASTM F 1700, CLASS III, TYPE B. OVERALL THICKNESS 0.125 IN., WEAR LAYER THICKNESS 0.022 IN., STATIC LOAD LIMIT 750 PSI. MANUFACTURER SHALL EXTEND A STANDARD TEN (10) YEAR COMMERCIAL WEAR AND MANUFACTURING DEFECTS WARRANTY.
  - PLANK: 9"X 36" WOOD PLANK BY PATCRAFT, DALTON, GA 30705
- BASE: THERMOPLASTIC RUBBER (TPR) 1/8" THICKNESS, 4" HEIGHT WITH COVE TOE, CLASS B FLAME SPREAD RATING.
  - \$127V BY PATCRAFT, DALTON, GA 30705
- TRANSITION STRIPS: T6 6063 ALLOY ALUMINUM MILL FINISH ALUMINUM DETAIL TRIM BETWEEN FLOORING TYPES. PROVIDE SUITABLE TRIM FOR HEIGHT OF TRANSITION. BASIS OF DESIGN: DT038.
  - TREDSAFE INC., BALTIMORE, MD 21224.
- ADHESIVE: ADHESIVE FOR FLOORING AND WALL BASE SHALL BE AS RECOMMENDED BY THE FLOORING MANUFACTURER.
- COLORS SHALL BE SELECTED BY ARCHITECT.

09 91 00 - PAINT

- CLEAN SURFACES TO BE PAINTED AS REQUIRED TO REMOVE DUST, DIRT OR OTHER SURFACE CONTAMINATION.
- GYPSUM WALLBOARD: SATIN FINISH. ONE COAT PROMAR 200 INTERIOR LATEX PRIMER, TWO COATS PROMAR 200 INTERIOR LATEX. WALLS MUST BE PAINTED/FINISHED FROM TRUE FLOOR TO TRUE CEILING.
- CEILINGS: SATIN FINISH. ONE COAT PROMAR 200 INTERIOR LATEX PRIMER, TWO COATS PROMAR 200 INTERIOR LATEX.
- STEEL (UNPRIMED OR SHOP PRIMED): SEMI-GLOSS FINISH. ONE COAT PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER (TOUCH-UP ONLY ON SHOP PRIMED), TWO COATS SOLO ACRYLIC SEMI-GLOSS. GALVANIZED STEEL: TWO COATS SOLO ACRYLIC SEMI-GLOSS
- OBTAIN PAINT AND COATING PRODUCTS FROM A SINGLE MANUFACTURER. COLOR: TO BE SELECTED FROM MANUFACTURER'S FULL RANGE OF STANDARD COLORS.
  - SHERWIN WILLIAMS PAINTS, INC., CLEVELAND, OH 44115
- COLORS SHALL BE SELECTED BY ARCHITECT.

10 14 00 - INTERIOR SIGNAGE

- MOHAWK GRAPHIC PROCESS SERIES 200A - SAND CARVED, USING FORMAT D.
- TACTILE CHARACTERS SHALL BE RAISED THE REQUIRED 1/32" FROM SIGN FACE. GLUE-ON LETTERS OR ETCHED BACKGROUNDS ARE NOT ACCEPTABLE.
- ALL TEXT SHOULD BE ACCOMPANIED BY GRADE 2 BRAILLE. BRAILLE SHALL BE SEPARATED 1/2" FROM THE CORRESPONDING RAISED CHARACTERS OR SYMBOLS. GRADE 2 BRAILLE TRANSLATION SHALL BE PROVIDED BY THE SIGNAGE MANUFACTURER. ALL LETTERS, NUMBERS AND SYMBOLS SHALL BE LIGHT ON A DARK BACKGROUND, WITH NON-GLARE FINISH.
  - MOHAWK SIGN SYSTEMS, SCHENECTADY, NY, 12301.
  - COLOR: BLACK SIGN w/ WHITE LETTERING & BORDER.

10 26 13 - WALL AND CORNER GUARDS

- CORNER GUARD: CS MODEL SSM-25 SURFACE MOUNTED CORNER GUARD WITH ACROVYN WALL COVERING INSERT WHERE REQUIRED DUE TO VARYING WALL THICKNESSES AND/OR END WALL APPLICATIONS WITH DOUBLE CORNER GUARDS.
- EXTRUSIONS: HIGH IMPACT VINYL/ACRYLIC WITH A MATTE FINISH PEBBLETTE GRAIN SURFACE IN COLOR. FURNISH END CAPS IN COORDINATING COLOR, DESIGNED FOR DIRECT MECHANICAL ATTACHMENT TO THE RETAINER.
- RETAINERS: ALUMINUM EXTRUSION OF .063" THICKNESS. INCLUDE NON-CORROSIVE ATTACHMENT HARDWARE.
  - CONSTRUCTION SPECIALTIES, INC. MUNCH, PA 17756.

10 26 41 - BULLET RESISTANT PANELS

- ASTM E119-98 STANDARD TEST FOR ONE-HOUR FIRE-RATING OF BUILDING CONSTRUCTION AND MATERIALS
- ASTM F1233-98 STANDARD TEST METHOD FOR FORCED ENTRY TESTING OF MATERIALS/ASSEMBLIES, BODY PASSAGE REQUIREMENT, CLASS IV
- UL 752 SPECIFICATIONS AND AMMUNITION, 11TH EDITION, STANDARD FOR BULLET RESISTING EQUIPMENT PUBLISHED SEPTEMBER 9, 2005, REVISED DECEMBER 21, 2006, LEVEL 8
- PANELS FABRICATED OF MULTIPLE LAYERS OF WOVEN ROVING BALLISTIC GRADE FIBERGLASS CLOTH IMPREGNATED WITH A THERMOSET POLYESTER RESIN AND COMPRESSED INTO FLAT RIGID SHEETS.
  - PANEL RATING: UL752 LEVEL 8.
  - BULLET RESISTANCE OF JOINTS: EQUAL TO THAT OF THE PANEL.
  - THICKNESS: 1 7/16" NOMINAL THICKNESS
  - NOMINAL WEIGHT: 15.2 LBS. PER SQ. FT.
- BULLET RESISTANT FIBERGLASS PANELS SHALL BE "NON RICOCHET TYPE" TO PERMIT THE ENCAPTURE AND RETENTION OF AN ATTACKING PROJECTILE LESSENING THE POTENTIAL OF A RANDOM INJURY OR LATERAL PENETRATION.
  - ARMORCORE BY WACO COMPOSITES, WACO, TX 76710

11 31 00 - RESIDENTIAL APPLIANCES

- DISHWASHER: GE PROFILE 18" WIDE ADA COMPLIANT. PDT145SGLWW
  - GE APPLIANCE, LOUISVILLE, KY 40218.

28 10 00- ELECTRONIC ACCESS CONTROL

- PROVIDE ACCESS DOOR CONTROL FOR DOORS SHOWN ON THE DRAWING.
- ACCESS CONTROL TO INCLUDE: ELECTRIFIED LOCK, REQUEST TO EXIT DEVICE, DOOR POSITION SWITCH, CARD READER AND CONTROL CENTER.
- ACCESS CONTROL CONTRACTOR TO PROVIDE ALL NECESSARY APPURTENANCES FOR DOOR SECURITY AND ALL WIRING, INCLUDING TO CONTROL CENTER.
  - ADVANTECH, DOVER, DE 19901.

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9-5-23

REVISION

CLIENT COMMENTS

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DATE : 9-15-23

LOBBY AND BREAKROOM RENOVATION  
FOR:  
MILLVILLE TOWN HALL  
MILLVILLE, DELAWARE

SPECIFICATIONS

G1.1

DATE  
9-5-23

REVISION

CLIENT COMMENTS

NO

DATE  
9-5-23

REVISION

CLIENT COMMENTS

NO

SCALE : NOT TO SCALE

DESIGN BY : MHH

DRAWN BY : LKW, AJB

CHECKED BY : MHH

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DATE : 9-15-23

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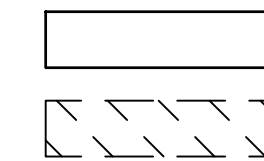


1

DEMO PLAN  
3/16" = 1'-0"

$$3/16" = 1'-0"$$

LEGEND:



EXISTING CONSTRUCTION

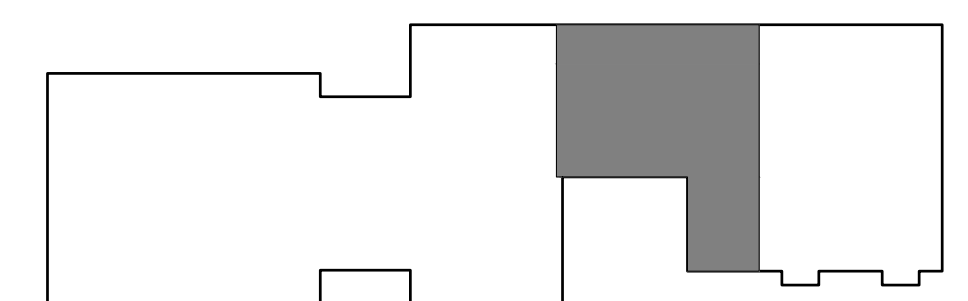
DEMOLITION

### DEMOLITION KEY NOTES:

- 1 REMOVE EXISTING DOOR AND FRAME.
- 2 REMOVE EXISTING WALLS
- 3 REMOVE EXISTING PASS-THRU WINDOW
- 4 REMOVE EXISTING CASEWORK, CABINETS, AND SHELVES
- 5 REMOVE AND RELOCATE EXISTING MOP SINK.
- 6 REMOVE EXISTING DRYWALL FROM WAITING ROOM SIDE.
- 7 REMOVE EXISTING ACOUSTICAL CEILING TILES, TRACK, CEILING FAN LIGHT FIXTURES AND HVAC GRILLES. SALVAGE EXISTING LIGHT FIXTURES FOR POSSIBLE REUSE.
- 8 REMOVE AND REINSTALL MOTION SENSOR. SEE REFLECTED CEILING PLAN FOR NEW LOCATION.

NOTES:

1. RETAIN EXISTING REFRIGERATOR FOR REUSE.



## KEY PLAN

N.T.S.

LOBBY AND BREAKROOM RENOVATION  
FOR:  
**MILLVILLE TOWN HALL**  
MILLVILLE, DELAWARE

# PARTIAL FIRST DEMO PLAN

SCALE	: 1/4" = 1'-0"
DESIGN BY	: MHH
DRAWN BY	: LKW, AJB
CHECKED BY	: MHH
MB FILE	: 230077
DATE	: 5-15-23

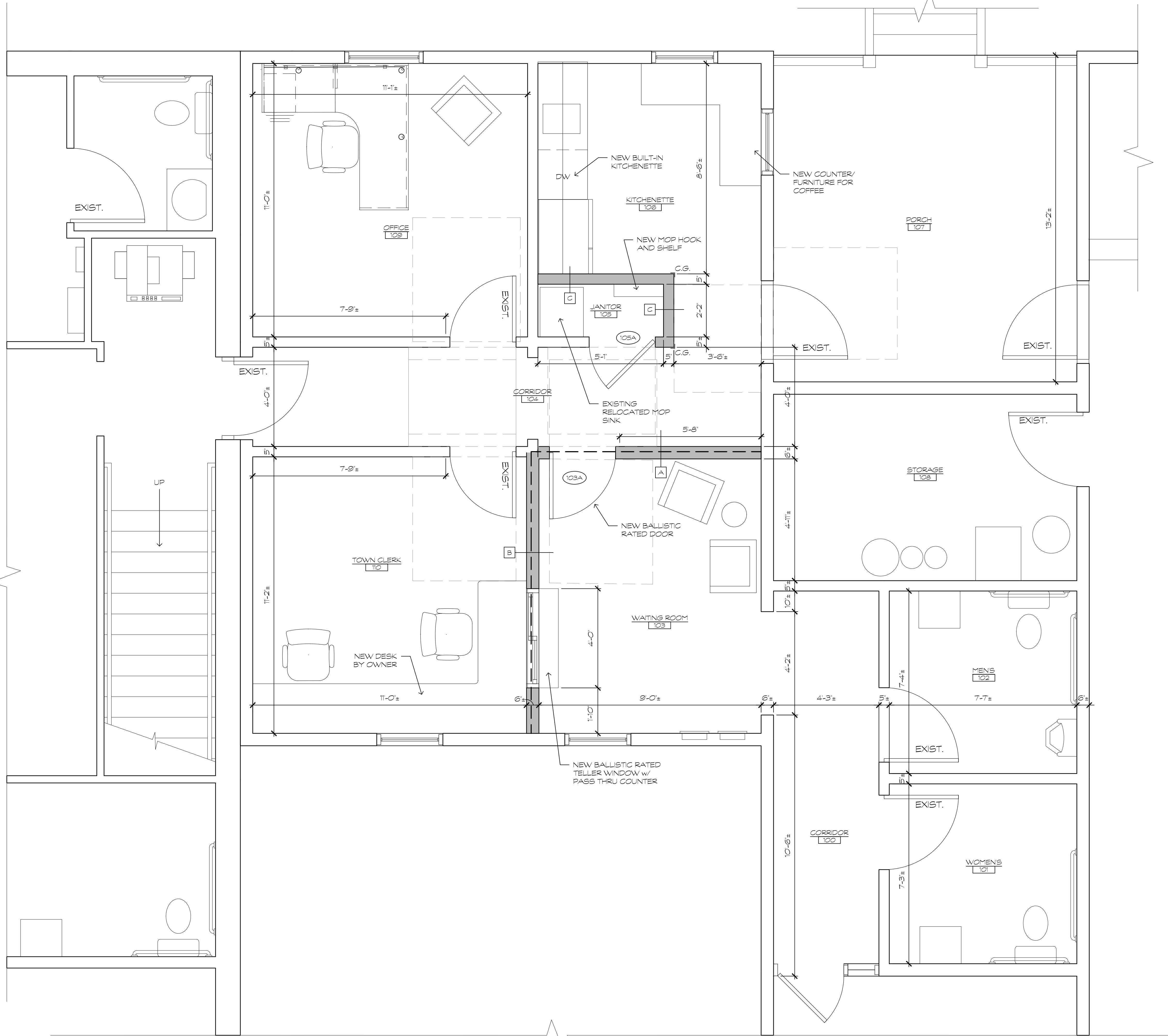
## A1.0

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g:\Projects\2023\230077 town hall lobby & breakroom schem design\Drawings\working sets\A1.1 OVERALL FIRST FLOOR PLAN.dwg, 9/19/2023 3:22 PM, Lee K. Wholey

1

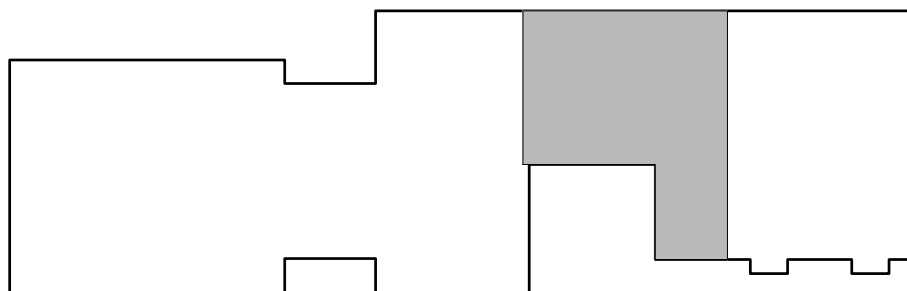
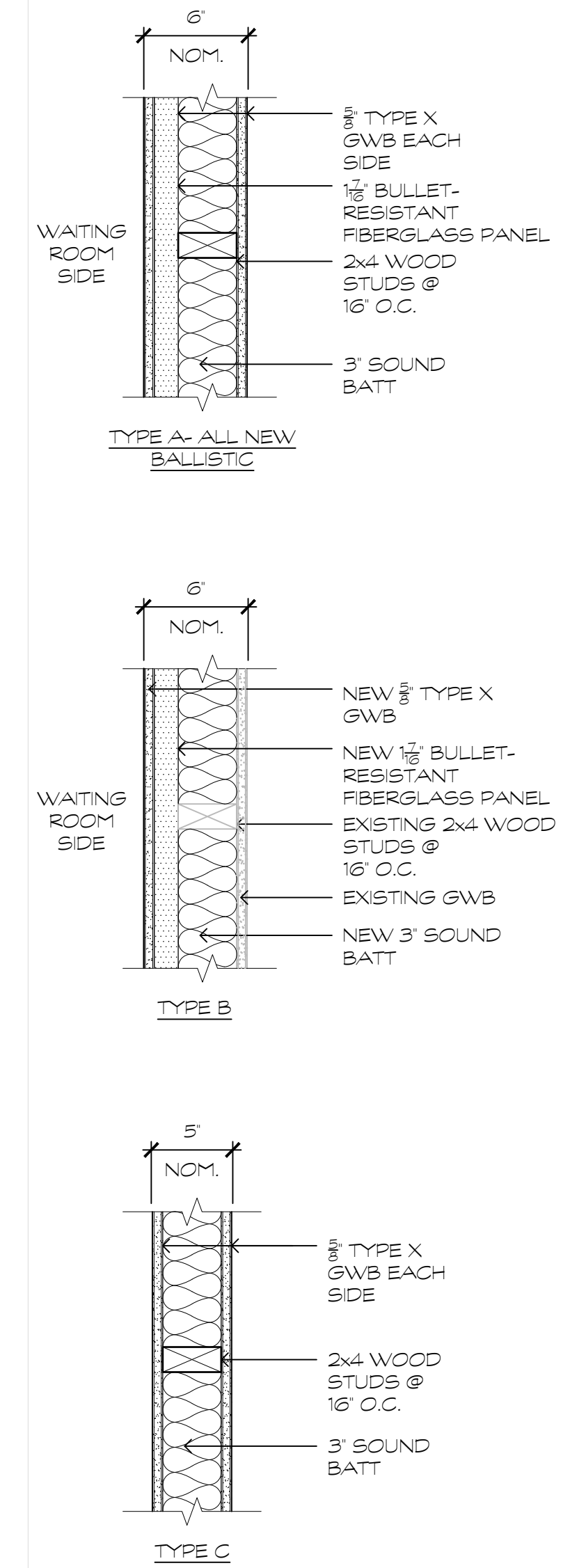
PARTIAL FIRST FLOOR PLAN  
1/2" = 1'-0"



LEGEND:

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- BULLET RESISTANT

WALL TYPES:



KEY PLAN  
N.T.S.

LOBBY AND BREAKROOM RENOVATION  
FOR:  
MILLVILLE TOWN HALL  
MILLVILLE, DELAWARE

PARTIAL FIRST  
FLOOR PLAN

SCALE : 1/2" = 1'-0"  
DESIGN BY : MHH  
DRAWN BY : LKW, AUB  
CHECKED BY : MHH  
GMB FILE : 230077  
DATE : 5-15-23

A1.1

GMB

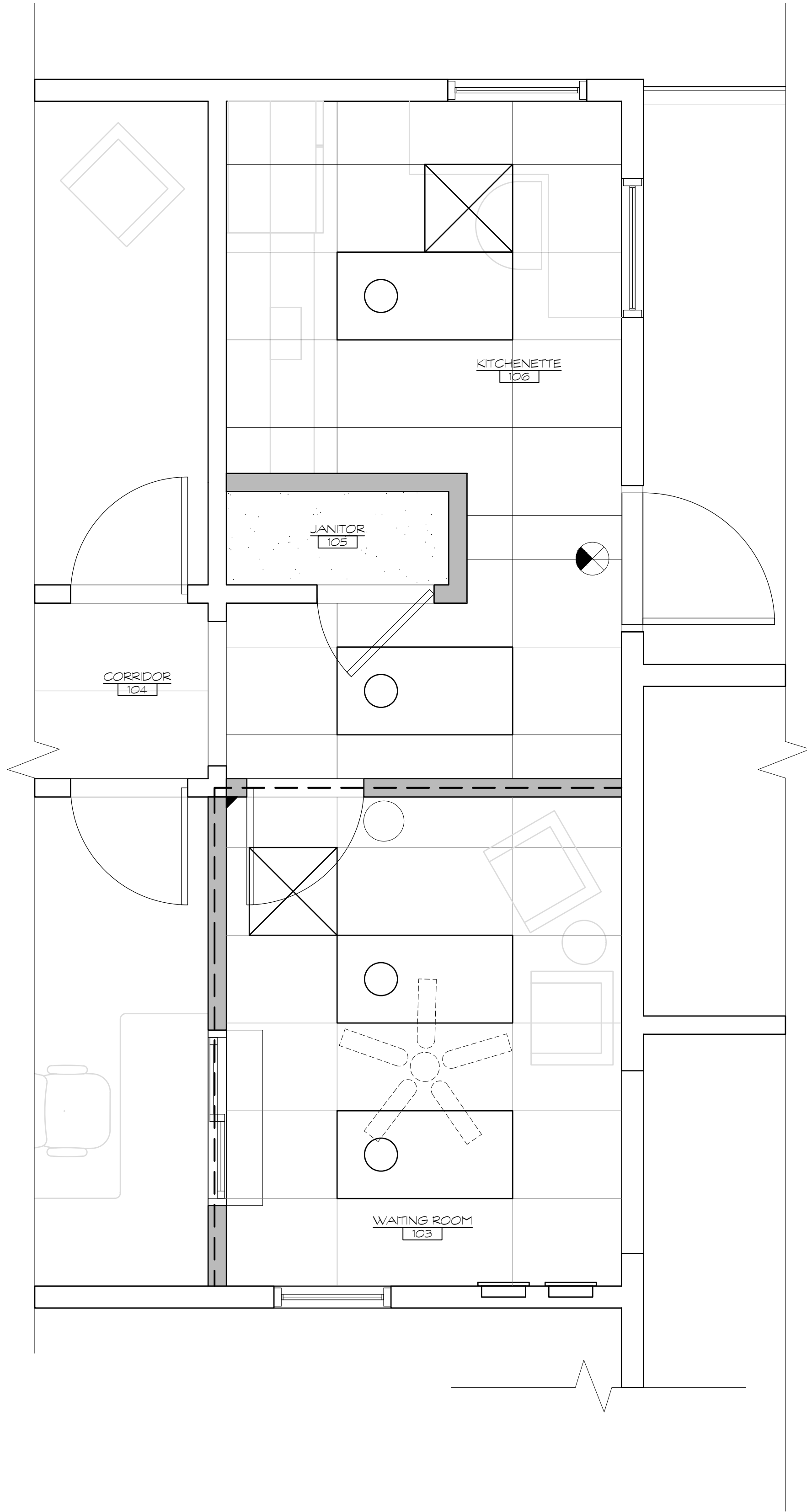
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9-5-23

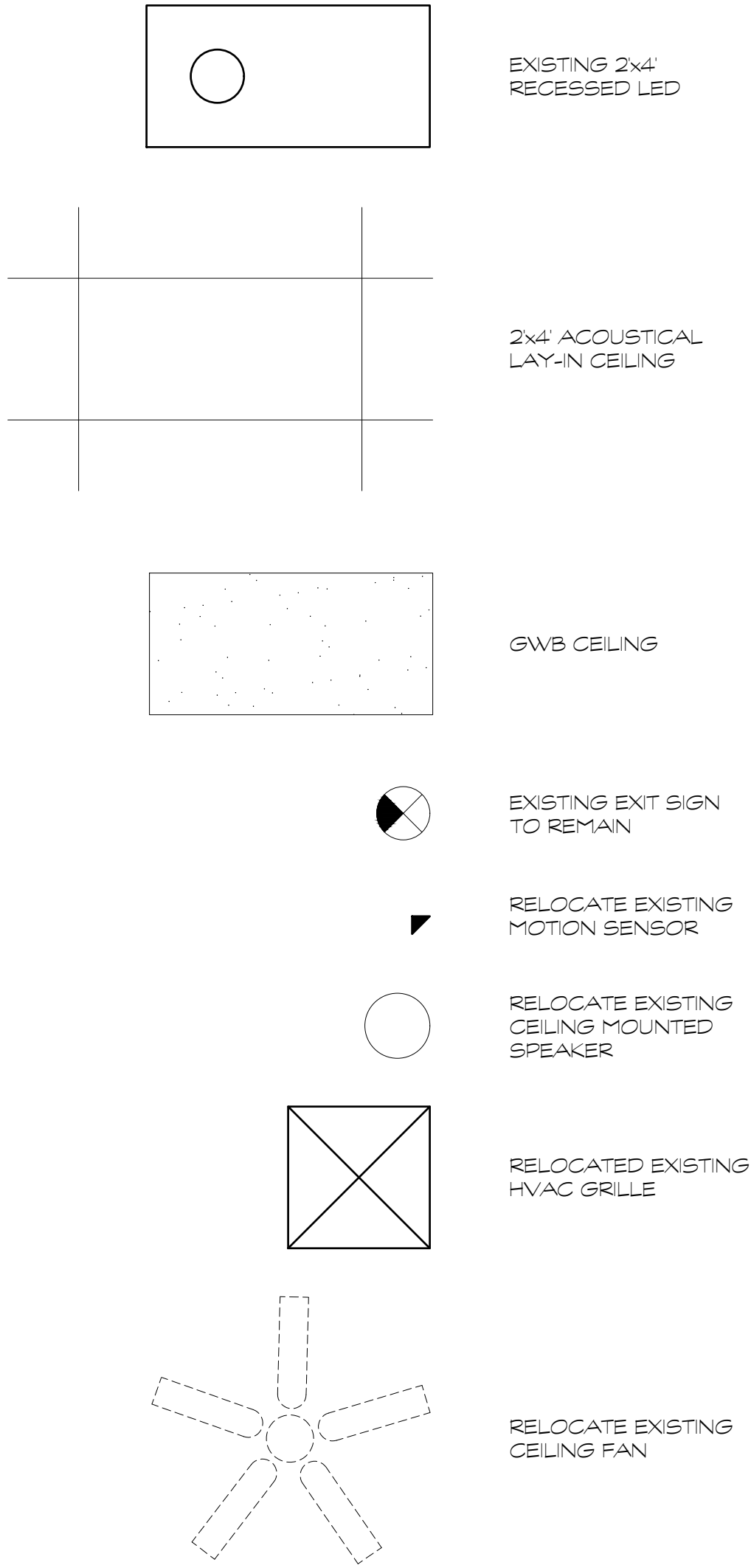
REVISION  
CLIENT COMMENTS

NO

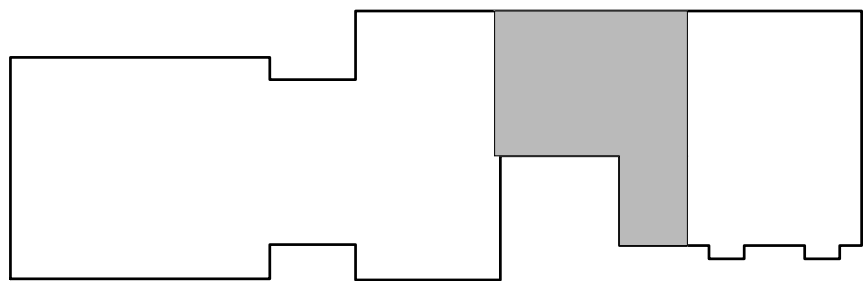
g:\Projects\2023\230077 town hall lobby & breakroom schem design\Drawings\working sets\A1.2 SECOND FLOOR PLAN.dwg, 9/19/2023 3:23 PM, Lee K. Whaley



RCP LEGEND:



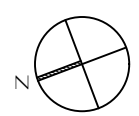
- NOTES:
1. CONTRACTOR TO COORDINATE CONSTRUCTION OF NEW WALLS WITH HVAC AND LIGHTING OBJECTS.
  2. RELOCATION OF LIGHTING AND/OR SUPPLY REGISTERS MAY BE REQUIRED BY THE CONTRACTOR.
  3. CONTRACTOR TO HAVE THE HVAC SYSTEM RE-BALANCED IF REQUIRED.



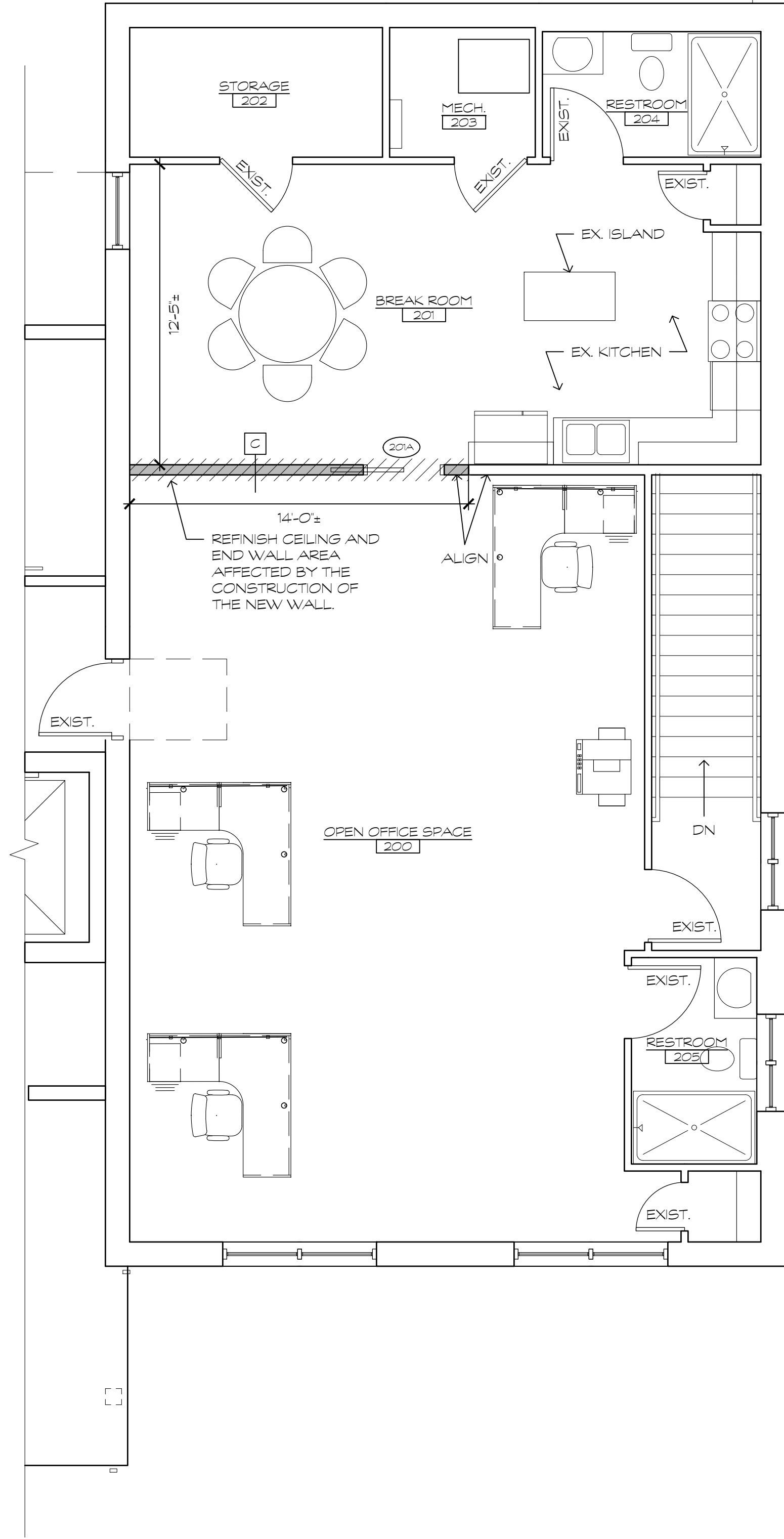
KEY PLAN  
N.T.S.

1

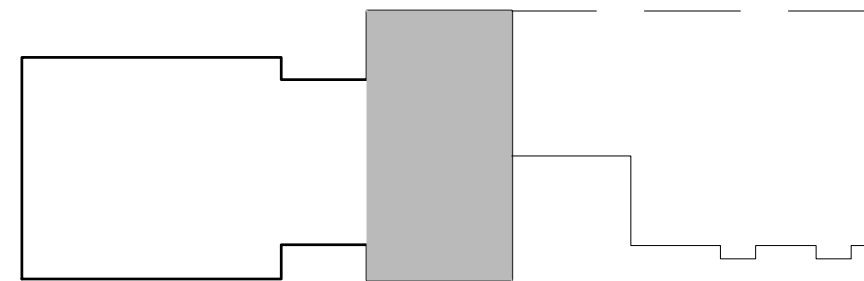
PARTIAL FIRST REFLECTED CEILING PLAN  
1/2" = 1'-0"



LEGEND:



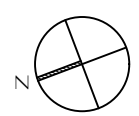
- NOTES:
1. CONTRACTOR TO COORDINATE EXISTING HVAC GRILLS FOR RELOCATION.
  2. CONTRACTOR TO HAVE THE HVAC SYSTEM RE-BALANCED IF REQUIRED.



KEY PLAN  
N.T.S.

2

PARTIAL SECOND FLOOR PLAN  
1/4" = 1'-0"



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LOBBY AND BREAKROOM RENOVATION			
FOR:			
MILLVILLE TOWN HALL			
MILLVILLE, DELAWARE			
PARTIAL SECOND			
FLOOR PLAN AND			
FIRST FLOOR RCP			
SCALE : AS NOTED			
DESIGN BY : MHH			
DRAWN BY : LKW, AJB			
CHECKED BY : MHH			
GMB FILE : 230077			
DATE : 5-15-23			
A1.2			© COPYRIGHT 2023 GEORGE, MILES & BUHR, LLC

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HARDWARE SETS:

- HW-1  
1 BALLISTIC CONTINUOUS HINGE  
1 ENTRY LOCKSET W/ PANIC HARDWARE  
1 ELECTRIC STRIKE  
1 CLOSER  
2 KICKPLATE

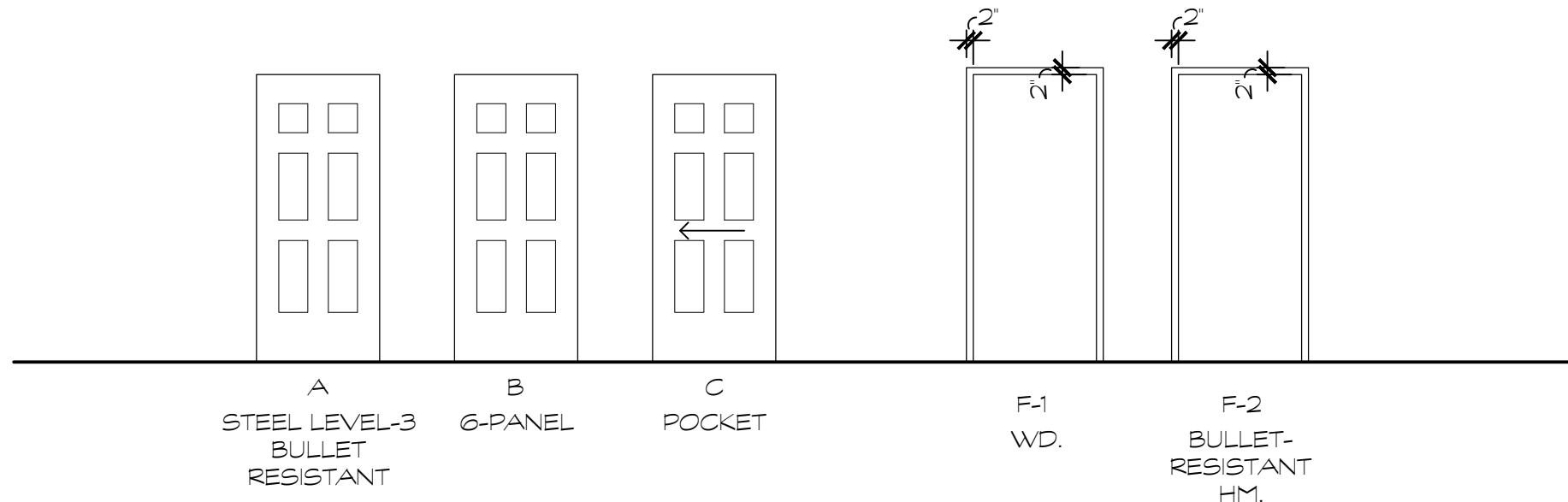
- HW-2  
BALANCE OF HARDWARE BY POCKET  
DOOR MANUFACTURER

- HW-3  
1 PR HINGES (BB)  
1 STORAGE LOCKSET  
1 WALL BUMPER  
1 KICKPLATE

DOOR SCHEDULE									
DOOR #	TYPE	MATL.	SIZE	THICK	RATING	FRAME	ELECTRIFIED FRAME	HARDWARE	REMARKS
103A	A	STEEL	3'-0" x 6'-8"	1 3/4"	--	F-2	■	HW-1	INSTALL ELECTRIC STRIKE & CARD READER
105A	B	WD	2'-8" x 6'-8"	1 3/4"	--	F-1		HW-3	
201A	C	WD	3'-0" x 6'-8"	1 3/4"	--	F-1		HW-2	

NOTES:

1. WOOD CASING TRIM TO MATCH EXISTING.



FINISH SCHEDULE										
ROOM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HT.	NOTES
				N	E	S	W			
100	CORRIDOR	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
101	WOMENS RESTROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
102	MENS RESTROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
103	WAITING ROOM	LVT	WD	PAINT	PAINT	PAINT	PAINT	EXIST.	EXIST.	
104	CORRIDOR	LVT	WD	PAINT	PAINT	PAINT	PAINT	AC-L	9'-0"±	
105	JANITOR	LVT	WD	PAINT	PAINT	PAINT	PAINT	PAINT	9'-0"±	
106	KITCHENETTE	LVT	WD	PAINT	PAINT	PAINT	PAINT	AC-L	9'-0"±	
107	PORCH	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
108	STORAGE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
109	OFFICE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
110	TOWN CLERK	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
200	OPEN OFFICE SPACE	EXIST.	EXIST.	EXIST.	PAINT	EXIST.	EXIST.	EXIST.	EXIST.	NEW WOOD BASE TO MATCH EXISTING ON NEW WALL
201	BREAK ROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	PAINT	EXIST.	EXIST.	NEW WOOD BASE TO MATCH EXISTING ON NEW WALL
202	STORAGE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
203	MECHANICAL	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
204	RESTROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	
205	RESTROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	

NOTES:

1. WOOD BASE TO MATCH EXISTING  
2. ALL WALLS AFFECTED BY NEW WORK TO RECEIVE NEW FINISHES AND TO BE FIELD VERIFIED.

3

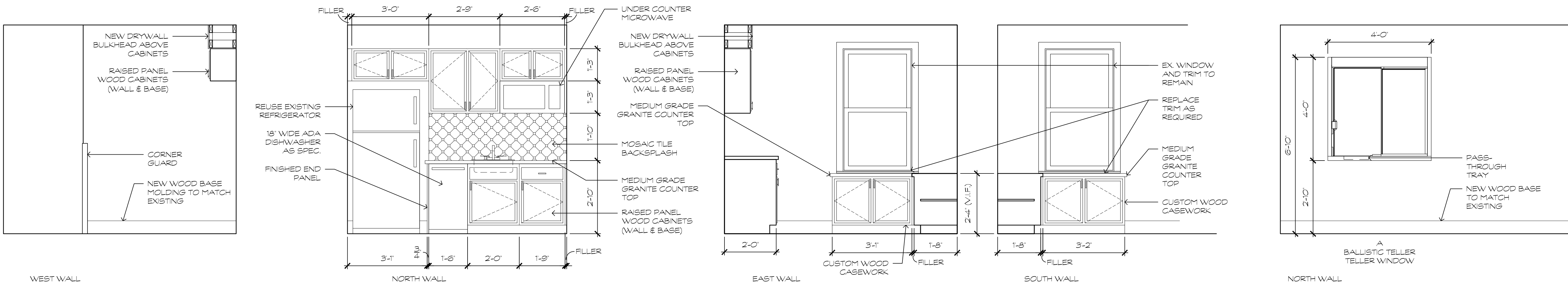
DOOR & FRAME SCHEDULE

1/4" = 1'-0"

NOTE: SEE A5.2 FOR DOOR & WINDOW DETAILS

1

FINISH SCHEDULE



KITCHENETTE

106

WAITING ROOM

103

2

INTERIOR ELEVATIONS

1/2" = 1'-0"

NOTE: SEE A5.2 FOR DOOR & WINDOW DETAILS

LOBBY AND BREAKROOM RENOVATION  
FOR:  
MILLVILLE TOWN HALL  
MILLVILLE, DELAWARE

SCHEDULES AND  
INTERIOR  
ELEVATIONS

SCALE : AS NOTED  
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DRAWN BY : LKW, AJB  
CHECKED BY : MHH  
GMB FILE : 230077  
DATE : 5-15-23

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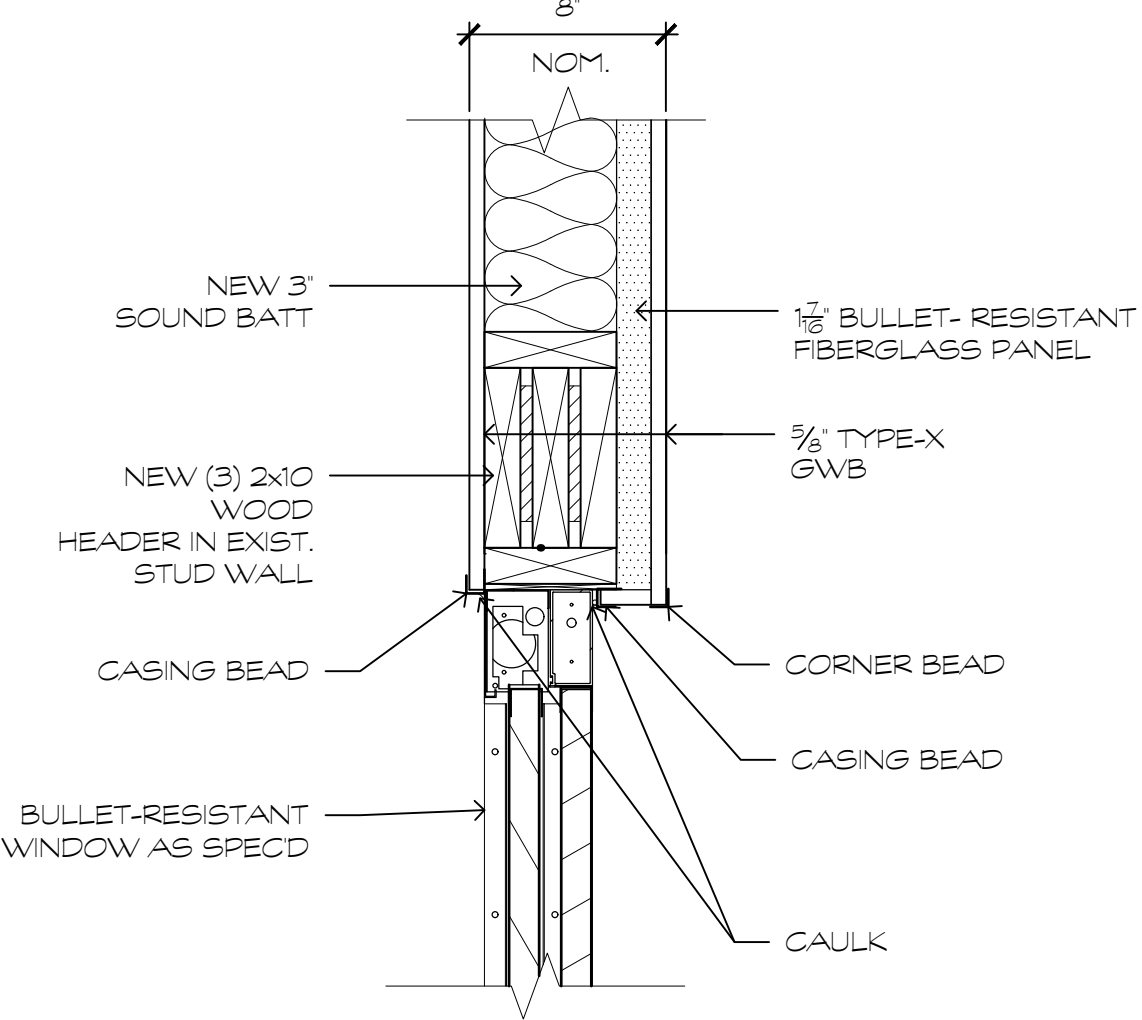
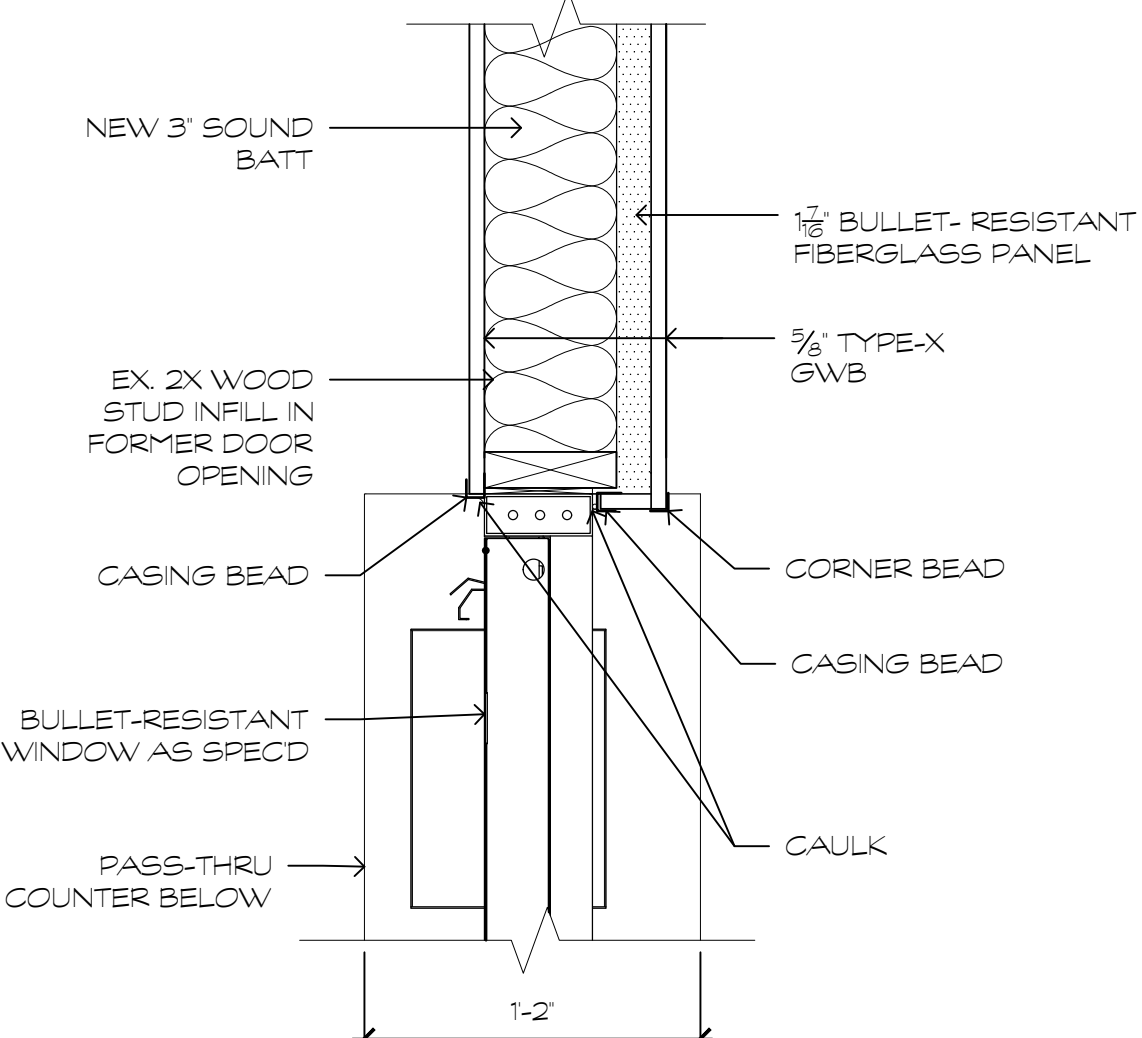
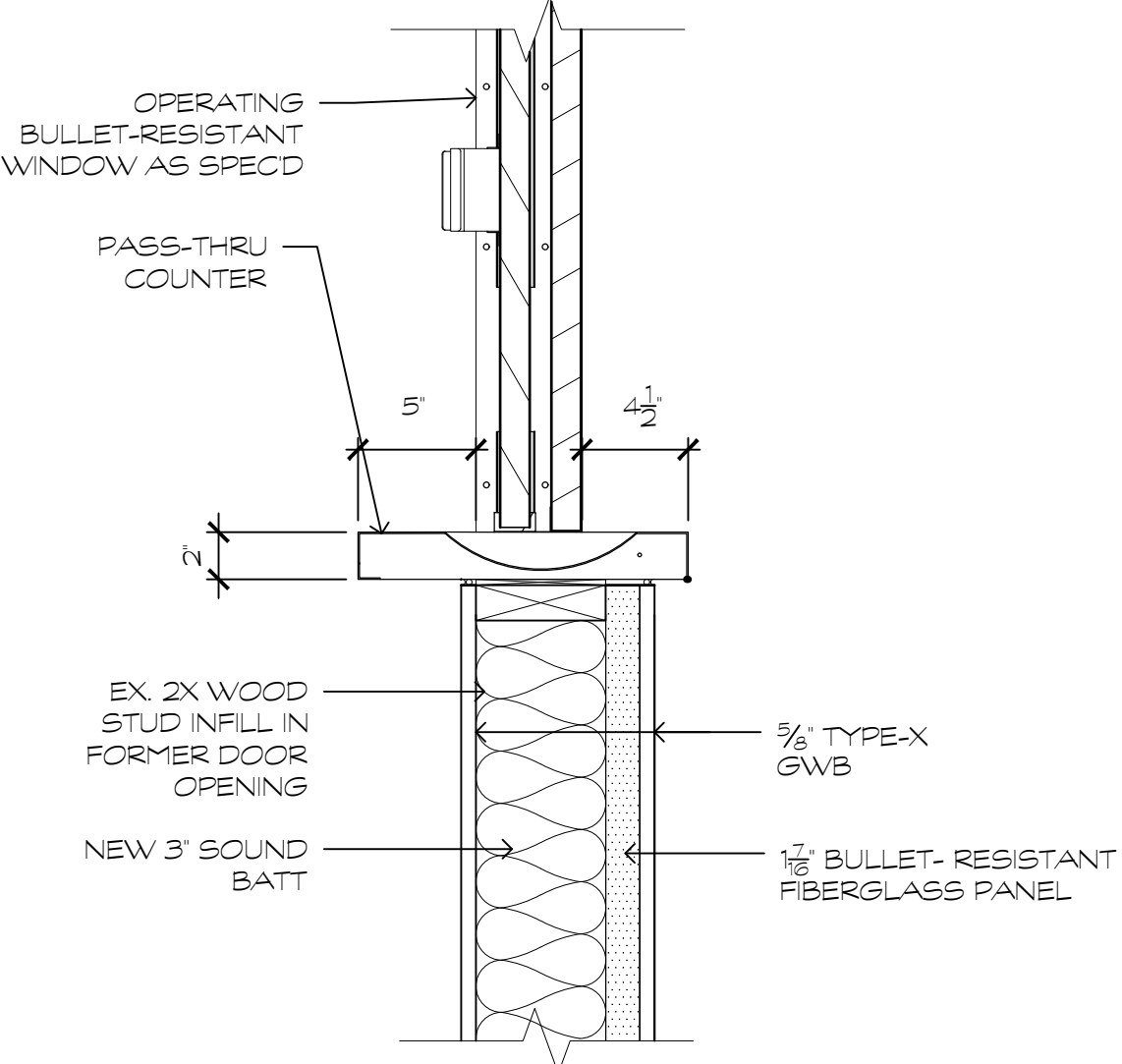
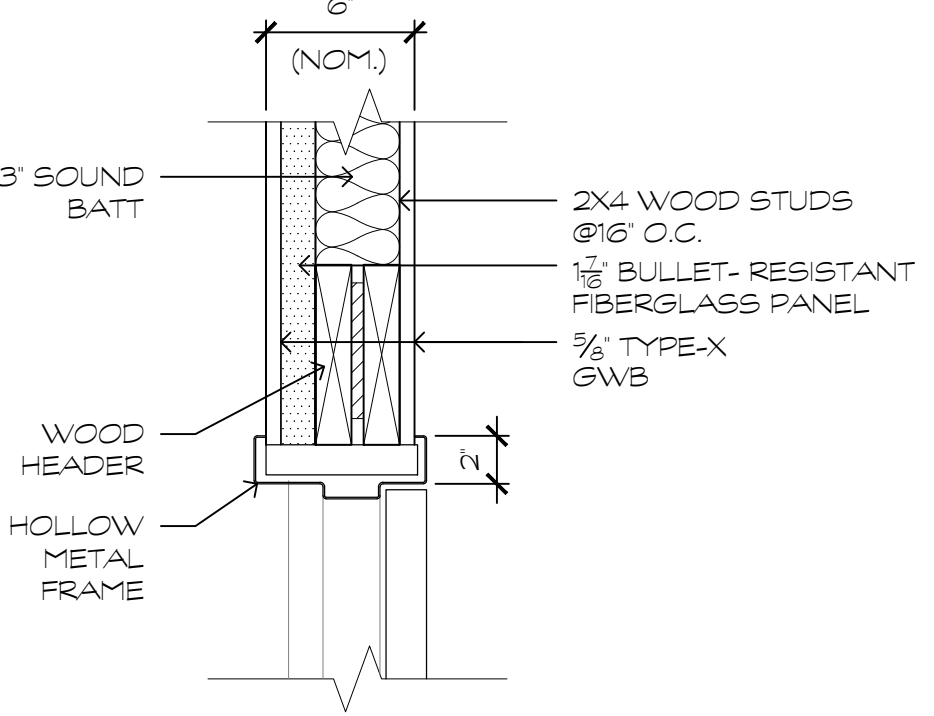
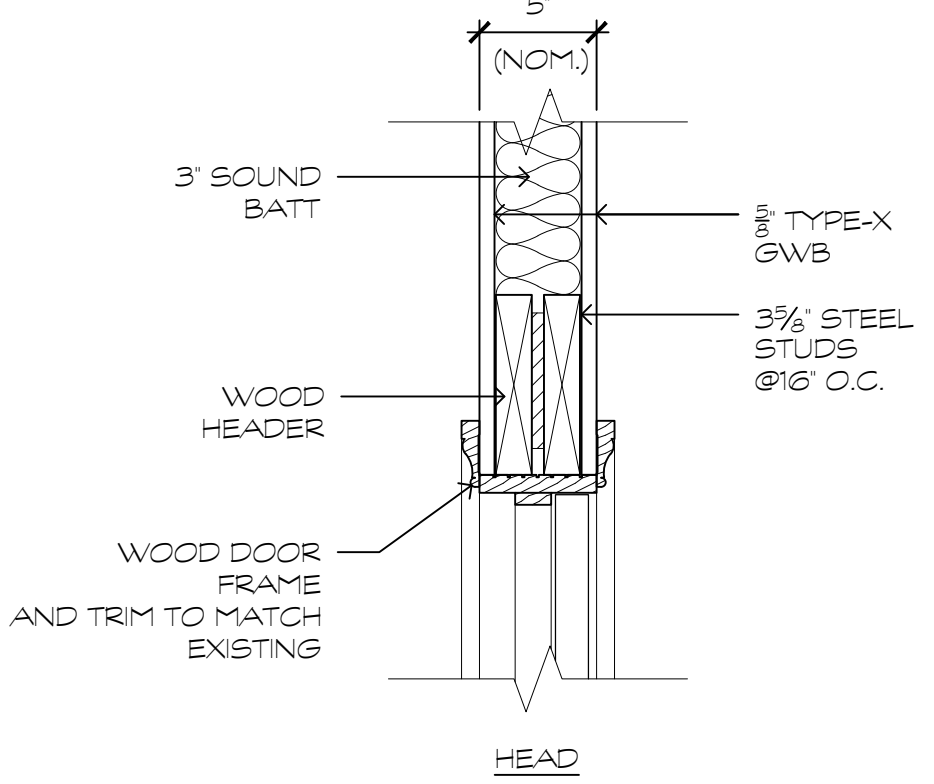
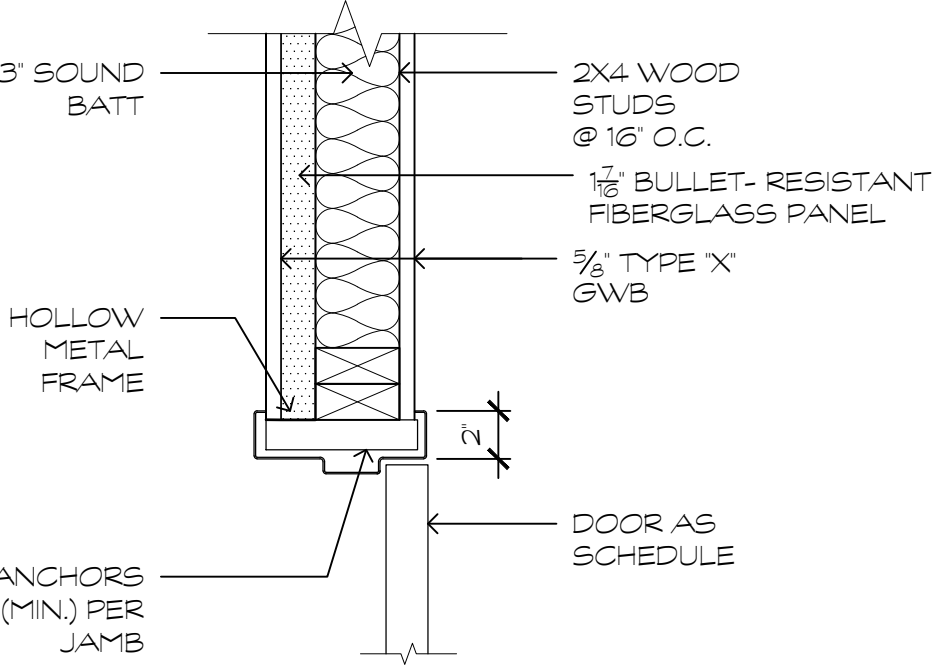
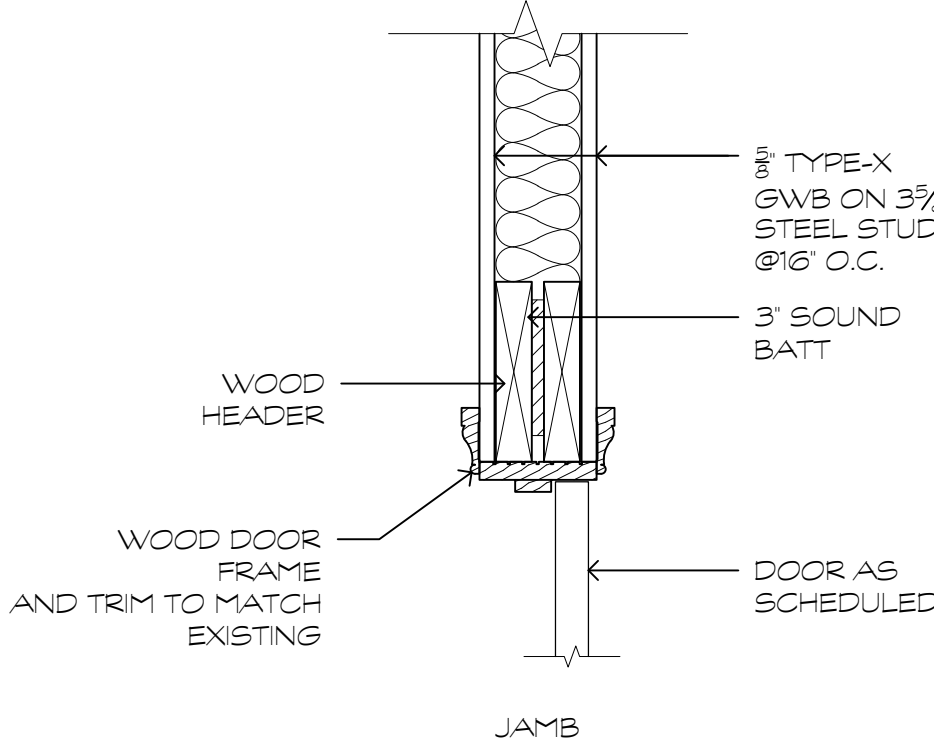
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CLIENT COMMENTS

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5	SLIDING WINDOW HEAD DETAIL 1 1/2" = 1'-0"
	
6	SLIDING WINDOW JAMB DETAIL 1 1/2" = 1'-0"
	
7	SLIDING WINDOW SILL DETAIL 1 1/2" = 1'-0"
	
3	HEAD DETAIL 1 1/2" = 1'-0"
	
1	HEAD DETAIL 1 1/2" = 1'-0"
	
4	JAMB DETAIL 1 1/2" = 1'-0"
	
2	JAMB DETAIL 1 1/2" = 1'-0"

DATE	9-5-23
REVISION	CLIENT COMMENTS
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LOBBY AND BREAKROOM RENOVATION FOR: MILLVILLE TOWN HALL MILLVILLE, DELAWARE	
DETAILS	
SCALE : 1 1/2" = 1'-0"	
DESIGN BY : MHH	
DRAWN BY : LKW, AJB	
CHECKED BY : MHH	
GMB FILE : 230077	
DATE : 5-15-23	
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