

CONTACT INFORMATION

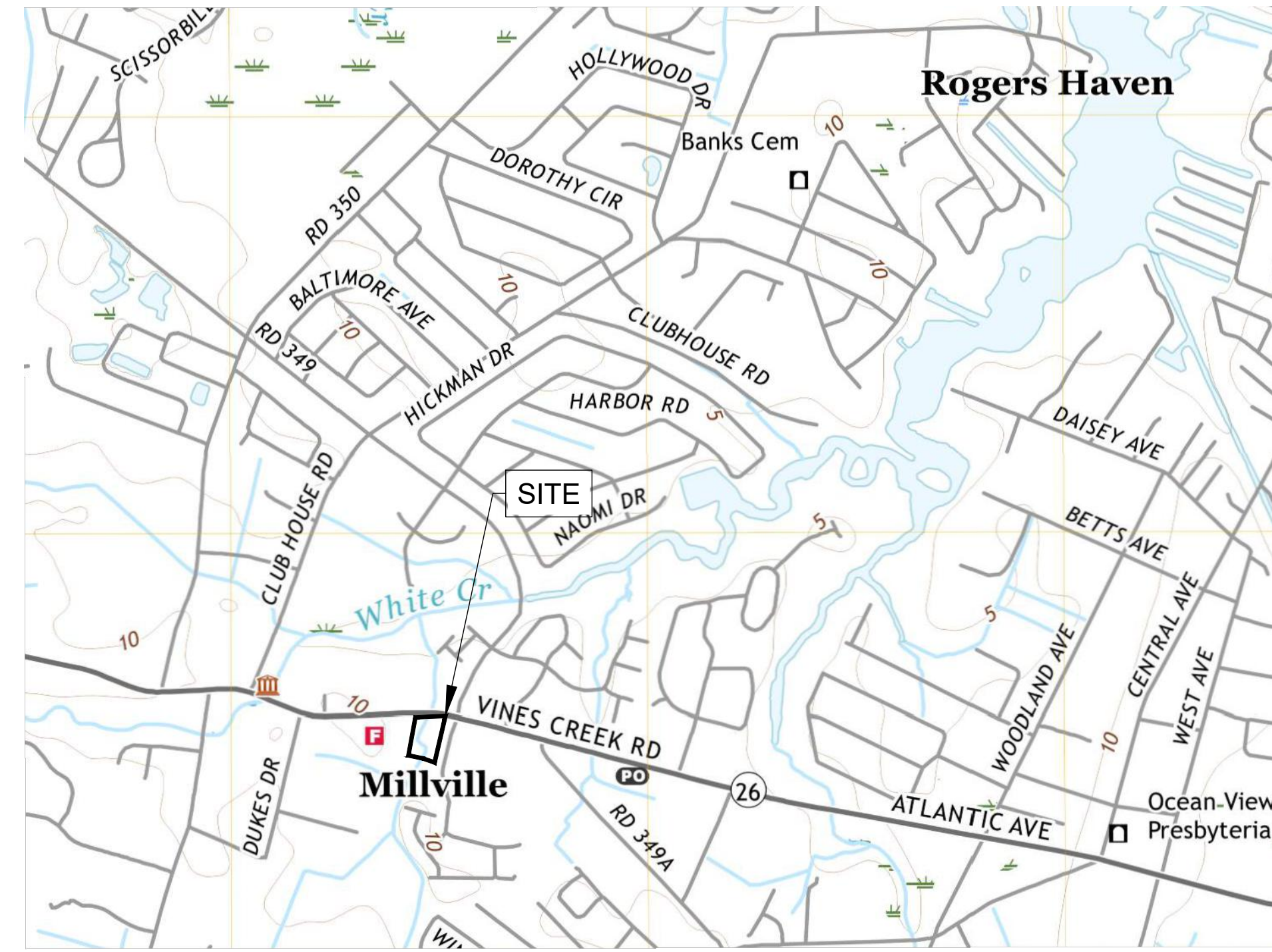
OWNER: ARB REALTY HOLDINGS, LLC
DEVELOPER: JOHN SOVERO
ENGINEER: CASEY RAUCH RAUCH INC.
SITE DATA:
PROPERTY ADDRESS: 35518 ATLANTIC AVE
PRESENT ZONING CLASSIFICATION: C1 - TOWN CENTER
PROPOSED ZONING CLASSIFICATION: C1 - TOWN CENTER
TAX ID: 134-12.00-404.00
DEED REFERENCE: BOOK 3396 / PAGE 28
BUILDING SETBACKS: FRONT - 30'
MAX. BUILDING HEIGHT: 42 FEET
PARKING - REQUIRED: 7 SPACES
PARKING - AS DESIGNED: -10 PARKING SPACES + 1 VAN ACCESSIBLE A.D.A. SPACE
EXISTING USE: VACANT
PROPOSED USE: COMMERCIAL CAR WASH
SITE AREA: 1.691 ACRES
PROPOSED IMPERVIOUS: 1.037 ACRES (61.3% SITE AREA)
FLOODPLAIN: PER FEMA FIRM MAP 10005C0511K
WETLANDS: NO WETLANDS PRESENT ON SITE
POSTED SPEED LIMIT: 35 MPH
TID: NO PROXIMITY TO TRANSPORTATION IMPROVEMENT DISTRICTS
DATUM: HORIZONTAL - NAD83
SURVEY PERFORMED BY RAUCH INC. ON 2/6/2023 & 2/15/2023

CONSTRUCTION PLANS

FOR

GANDER'S CAR WASH

ARB REALTY HOLDINGS, LLC
MILLVILLE, BALTIMORE HUNDRED,
SUSSEX COUNTY, DELAWARE 19967



SCALE
1" = 1000'

GENERAL NOTES

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, LOCAL BUILDING CODES, BEST PRACTICES OF THE RESPECTIVE TRADES AND THE STANDARD SPECIFICATIONS AND DETAILS REFERRED TO HEREON.
THIS DRAWING SHOWS INFORMATION OBTAINED FROM AVAILABLE RECORDS REGARDING PIPES, CONDUITS, TELEPHONE LINES AND OTHER STRUCTURES AND CONDITIONS WHICH EXIST WITHIN LIMITS OF THE WORK AT AND BELOW THE SURFACE OF THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING AND PROTECTING ALL PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES.
THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION AND SHALL COORDINATE ALL CONSTRUCTION PHASES WITH THEM:

Table with 2 columns: Agency/Utility and Contact Information. Includes DELDOT SOUTH DISTRICT ENTRANCE PERMIT SUPERVISOR, TOWN OF MILLVILLE DPW, SUSSEX CONSERVATION DISTRICT, MISS UTILITY.

SHOULD ANY DAMAGE OCCUR TO ANY MARKED UTILITIES, THEY SHALL BE REPAIRED SOLELY AT THE CONTRACTORS EXPENSE.
ALL LANDSCAPING SHALL BE PERFORMED BY QUALIFIED PROFESSIONALS. ALL PLANT MATERIALS SHALL BE FROM CERTIFIED NURSERYMAN AND BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PLANTING.
ANY PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE REPLACED SOLELY AT THE CONTRACTORS EXPENSE.
FIRE LANE AND ACCESS WILL MEET REQUIREMENTS FOR THE PROPOSED BUILDING PRIOR TO THE FINAL SITE PLAN.

DRAWING LIST table with 2 columns: SHEET NUMBER and DRAWING TITLE. Lists sheets G-100 through C-601 including COVER SHEET, EXISTING CONDITIONS AND DEMOLITION PLAN, OVERALL SITE PLAN, EROSION & SEDIMENT CONTROL PLAN, etc.

ENVIRONMENTAL NOTES:

- 1. THE PROJECT SITE IS NOT LOCATED WITHIN THE CRITICAL AREA BUFFER
2. THE SITE IS NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN
3. NON-TIDAL WETLANDS ARE PRESENT ON-SITE

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETE WITHIN:
A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING

HYDROLOGY NOTES:

- 1. THE PROJECT WILL NOT ALTER HYDROLOGY TO OR FROM THE SITE
2. NO OUTLETS WILL BE ALTERED BY THIS PROJECT

Revisions table with columns: REV.#, DATE, DESCRIPTION, REVISED PER TOWN COMMENT. Includes a signature line and project details.

Technical drawing legend including LINETYPES, SYMBOLS, HATCHES, ABBREVIATIONS, and a grid of symbols for proposed and existing features like flared end sections, yard inlets, curbs, manholes, gates, signs, meters, hydrants, wells, bollards, transformers, pedestals, utility poles, wires, trees, elevations, slopes, benchmarks, and monitoring wells.

ARB REALTY HOLDINGS, LLC
OF THE LANDS OF
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE
TAX ID: 134-12.00-134.00, 134-12.00-135.00
PREPARED FOR: 1ST TEAM Staffing Services

RAUCH
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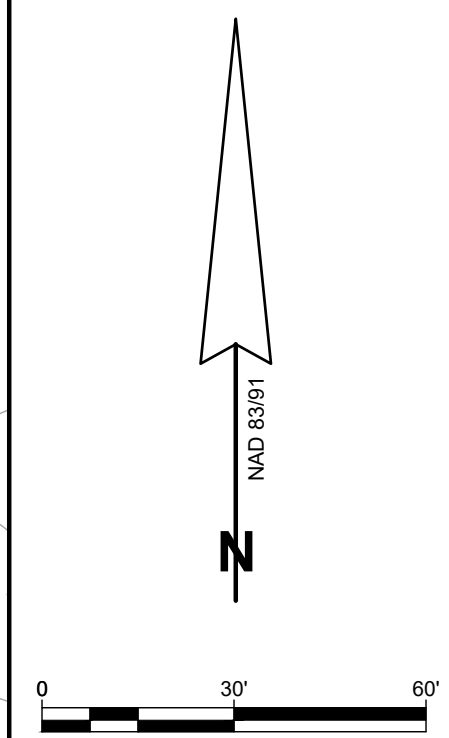
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Delaware.
Expiration Date: June 30, 2024
License No. 8359

REVISIONS table and FOR REVIEW stamp. Includes the 811 logo and a 'MISS UTILITY OF DELAWARE' stamp.



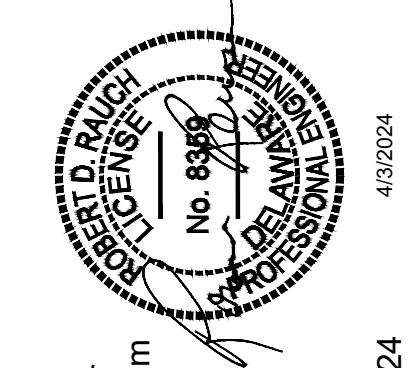
- DEMOLITION NOTES**
- 1 CLEAR TREES WITHIN THE LOD AS SHOWN
  - 2 DEMOLISH EXISTING CURB AND SIDEWALK ALONG ATLANTIC AVENUE
  - 3 EXISTING UTILITY POLE TO BE RELOCATED OUTSIDE OF PROPOSED ROADWAY
  - 4 EXISTING CURB INLET TO BE PLACED WITH STORM DRAIN MANHOLE
  - 5 EXISTING SIGN TO BE REMOVED. SIGN SHALL BE RETAINED FOR REINSTALLATION AFTER CONSTRUCTION IS COMPLETE.
  - 6 MILL 2" EXISTING ROADWAY ASPHALT WITHIN LIMITS SHOWN. AREA = +/- 1034 S.F.

- EXISTING SITE FEATURES**
- 1 CURB INLET
  - 2 TOP OF DITCH
  - 3 BOTTOM OF DITCH
  - 4 PROPERTY LINE
  - 5 OVERHEAD ELECTRIC
  - 6 WATER MAIN
  - 7 SEWER MAIN
  - 8 SIGN
  - 9 MAILBOX
  - 10 CONCRETE SIDEWALK
  - 11 SOILS BOUNDARY
  - 12 CURB FLOWLINE
  - 13 TREELINE
  - 14 PARCEL BOUNDARY
  - 15 12" STORM DRAIN PIPE
  - 16 80' TOP OF TAX DITCH RIGHT-OF-WAY
  - 17 69' RIGHT OF WAY
  - 18 UTILITY POLE
  - 19 FOR SALE SIGN TO BE REMOVED
  - 20 CLEAN OUT



**EXISTING CONDITIONS PLAN**  
OF THE LANDS OF  
**ARB REALTY HOLDINGS, LLC**  
TAX ID: 134-12.00-134.00, 134-12.00-135.00  
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
PREPARED FOR 1ST TEAM Staffing Services

**RAUCH**  
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Expiration Date: June 30, 2024

REVISIONS	
REV.#	DESCRIPTION

DATE: 4/3/2024  
SCALE: 1" = 30'  
DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY: \_\_\_\_\_

**SHEET NO.: V-101**

**FOR REVIEW**



**HATCH LEGEND**

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- MICRO-BIORETENTION BED AREA

**PROPOSED SITE FEATURES**

- 1 DELDOT INTEGRAL PCC CURB & GUTTER TYPE 3-6
- 2 ASPHALT PARKING LOT
- 3 40' TAX DITCH BUFFER
- 4 GABION BASKET
- 5 RIGHT TURN LANE
- 6 90° PARKING SPACE. QTY - 10
- 7 HANDICAP ACCESS ASILE
- 8 CONCRETE SIDEWALK
- 9 5' WIDE CROSSWALK
- 10 8,080 S.F. CAR WASH. F.F.E. = 13.20'
- 11 5' WIDE BIKE LANE
- 12 24"x24" CATCH OUTLET STRUCTURE
- 13 FLARED END SECTION (TYPICAL - 5)
- 14 DUMPSTER
- 15 400 S.F. UTILITY SHED. F.F.E. = 11.63'
- 16 TRUNCATED DOMES TYP.
- 17 PAY STATION
- 18 LIMITS OF DISTURBANCE / SILT FENCE
- 19 STOP BAR
- 20 STOP SIGN
- 21 SELF-SERVE VACUUM (TYPICAL-10)
- 22 PAVEMENT STRIPING AND SYMBOLS PER DE MUTCD, MOST RECENT EDITION. (TYPICAL)
- 23 24"x34" DELDOT INLET STRUCTURE WITH TYPE B TOP UNIT AND TYPE 1 GRATE (TYPICAL)
- 24 RELOCATED SPEED LIMIT SIGN
- 25 BUS STOP PAD, TYPE 2
- 26 RELOCATED VERIZON POLE. 24" OFF THE BACK OF CURB
- 27 315 S.F. SUBMERGED GRAVEL WETLAND FOREBAY
- 28 651 S.F. SUBMERGED GRAVEL WETLAND
- 29 ROOF OVERHANG
- 30 DEPRESSED DELDOT INTEGRAL PCC CURB & GUTTER TYPE 3-6
- 31 176 S.F. DETENTION POND FOREBAY
- 32 1,657 S.F. DETENTION POND
- 33 RIP RAP OUTLET PROTECTION
- 34 1000 GALLON UNDERGROUND PROPANE TANK. SEE MEP PLANS FOR MORE INFORMATION
- 35 GAS LINE. SEE MEP PLANS FOR MORE INFORMATION.

**EXISTING SITE FEATURES**

- 1 BOTTOM OF DITCH
- 2 TOP OF DITCH
- 3 PROPERTY LINE
- 4 VERIZON POLE
- 5 PARCEL BOUNDARY
- 6 80' TOP OF TAX DITCH RIGHT-OF-WAY
- 7 EXISTING MANHOLE RIM

**OVERALL SITE PLAN**

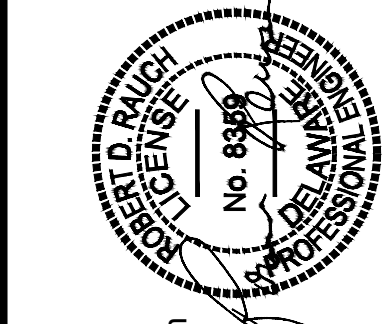
OF THE LANDS OF

**ARB REALTY HOLDINGS, LLC**

TAX ID: 134-12.00-134.00, 134-12.00-135.00  
 MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
 PREPARED FOR 1ST TEAM Staffing Services



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 Expiration Date: June 30, 2024

**REVISIONS**

REV.#	DATE	DESCRIPTION



DATE: 1/25/2024  
 SCALE: 1" = 30'  
 DRAWN BY: JWJ  
 DESIGNED BY: JWJ  
 APPROVED BY:

SHEET NO.: **C-100**

**FOR REVIEW**



**SEQUENCE OF CONSTRUCTION:**

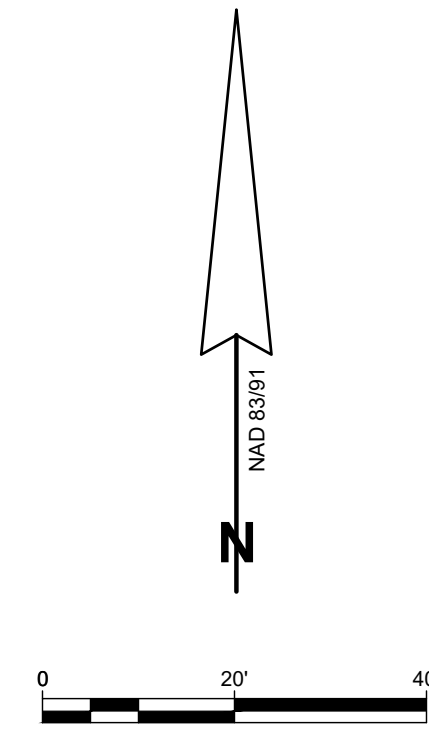
1. CONTRACTOR SHALL NOTIFY SCD IN WRITING 5 DAYS PRIOR TO CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
2. CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT DELDOT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
4. CONDUCT PRE-CONSTRUCTION MEETING.
5. CLEAR AND GRUB AREAS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
6. INSTALL PERIMETER CONTROLS. SCD OR PROJECT ENGINEER TO INSPECT PERIMETER CONTROLS PRIOR TO CONTINUING.
7. INSTALL DELDOT MOT AS DESCRIBED ON SHEET EN-8.
8. PERFORM ALL REMAINING WORK ASSOCIATED WITH WIDENING OF ATLANTIC AVENUE TO ALLOW FOR PROPOSED RIGHT TURN LANE AND BIKE LANE INCLUDING RELOCATION OF EXISTING CATCH BASIN, DRAINAGE PIPES, CURBING, SHARED-USE PATH, SITE GRADING, INSTALLATION OF PAVEMENT, STRIPING, SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION (I.E. BEGIN CONSTRUCTION AT OUTFALL AND WORK UPSTREAM).
9. CONTACT SCD FOR FINAL INSPECTION PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROL PRACTICES.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. THE SUSSEX CONSERVATION DISTRICT (SCD) MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
4. SCD RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR THE PURPOSE OF PERIODIC SITE INSPECTION.
5. FOLLOWING SOIL DISTURBANCE OR MANAGEMENT, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL, STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROPOSED SITE.
6. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, 1989 OR LATEST EDITION.
7. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
8. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES UNTIL THAT RESPONSIBILITY IS ASSUMED BY THE HOMEOWNER'S ASSOCIATION OR MAINTENANCE CORPORATION.
9. THE CONDITIONAL APPROVAL FOR THIS SITE IS VALID FOR THREE (3) YEARS FROM THE APPROVAL DATE STAMPED ON THE PLAN BY SUSSEX CONSERVATION DISTRICT.
10. APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC. NECESSARY TO COMPLY WITH THE STATE DRAINAGE AND OTHER APPLICABLE LAWS.

**PROPOSED SITE FEATURES**

- 1 651 S.F. SUBMERGED GRAVEL WETLAND
- 2 315 S.F. SUBMERGED GRAVEL WETLAND FOREBAY
- 3 LIMITS OF DISTURBANCE
- 4 SILT FENCE
- 5 8,080 S.F. CAR WASH, F.F.E. = 13.20'
- 6 400 S.F. UTILITY SHED, F.F.E. = 11.91'
- 7 FLARED END SECTION (TYPICAL - 5)
- 8 RIP RAP OUTLET PROTECTION
- 9 DELDOT DRAINAGE INLET 24"x34" WITH TYPE 1 GRATE.
- 10 DELDOT DRAINAGE INLET 24"x34" WITH TYPE 3 GRATE.
- 11 GABION BAKSET
- 12 1,657 S.F. DETENTION POND
- 13 176 S.F. DETENTION POND FOREBAY



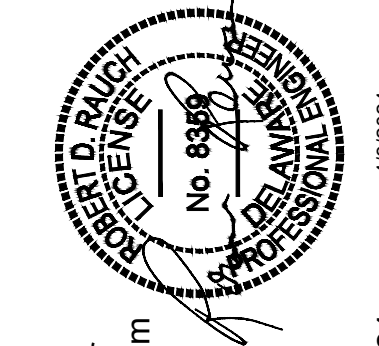
EROSION & SEDIMENT CONTROL PLAN  
OF THE LANDS OF

**ARB REALTY HOLDINGS, LLC**

TAX ID: 134-12.00-134.00, 134-12.00-135.00  
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
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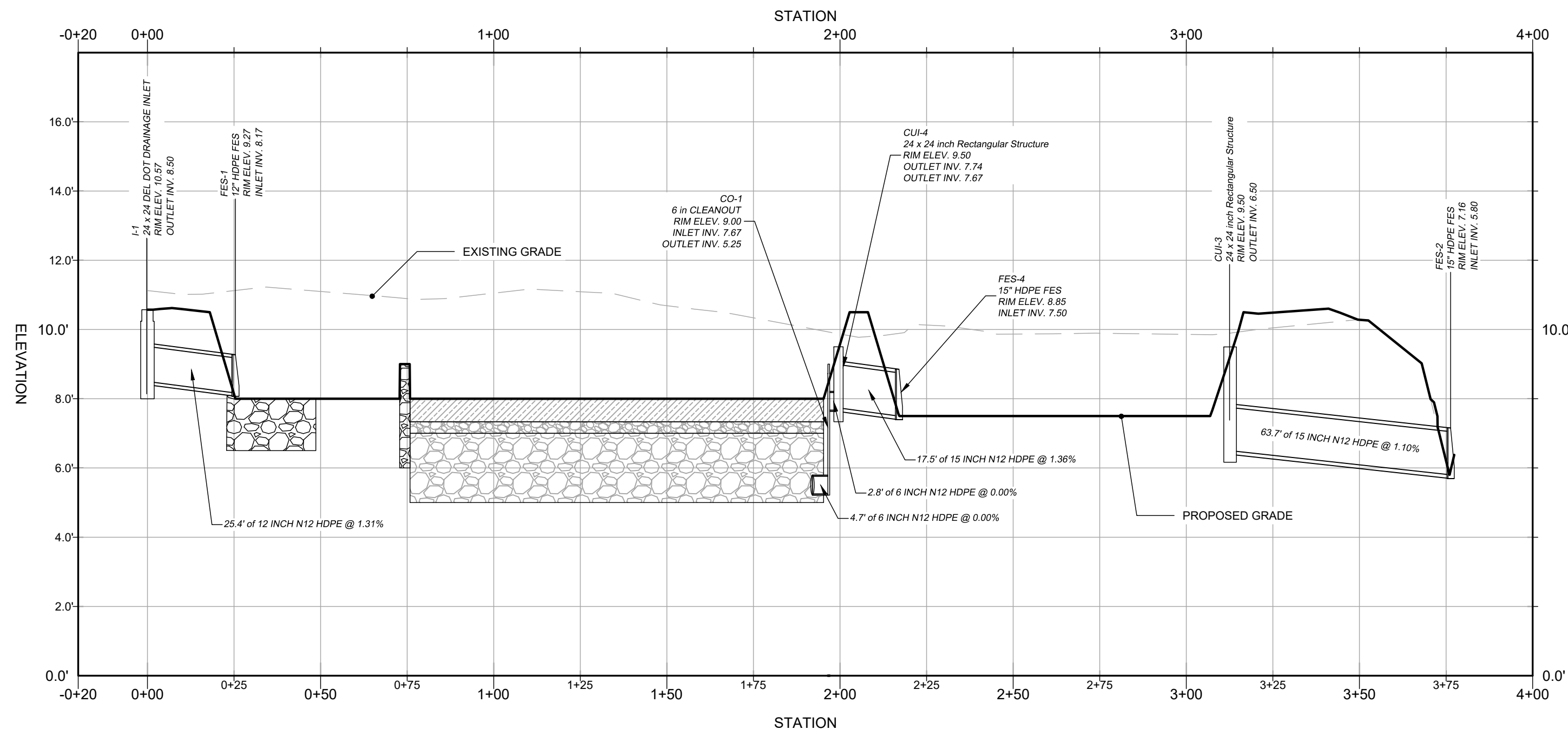
Professional Certification  
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Expiration Date: June 30, 2024

REV. #	DATE	DESCRIPTION

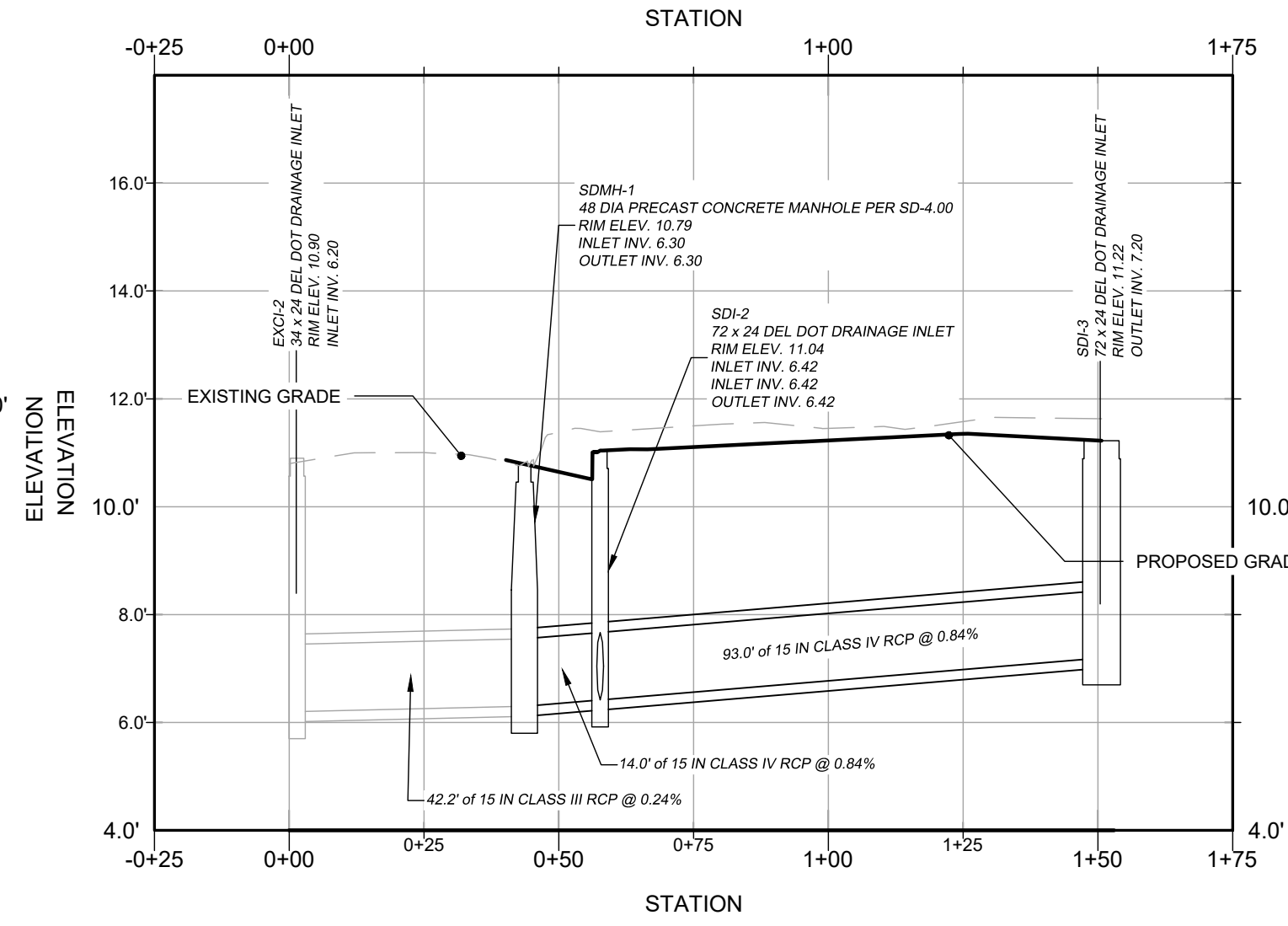
DATE: 4/3/2024  
SCALE: 1" = 20'  
DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY: [Signature]

SHEET NO.: **C-201**

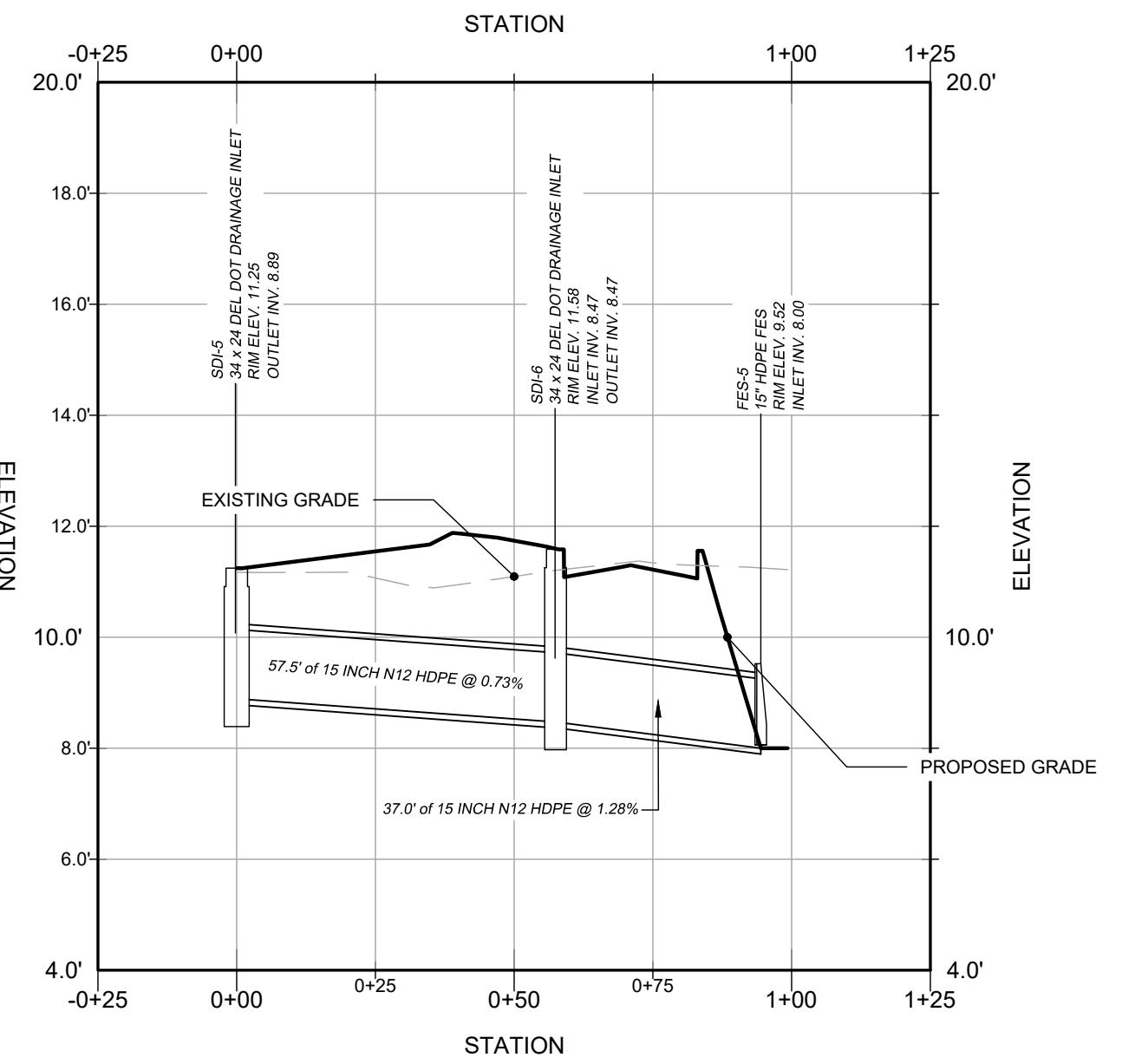
**FOR REVIEW**



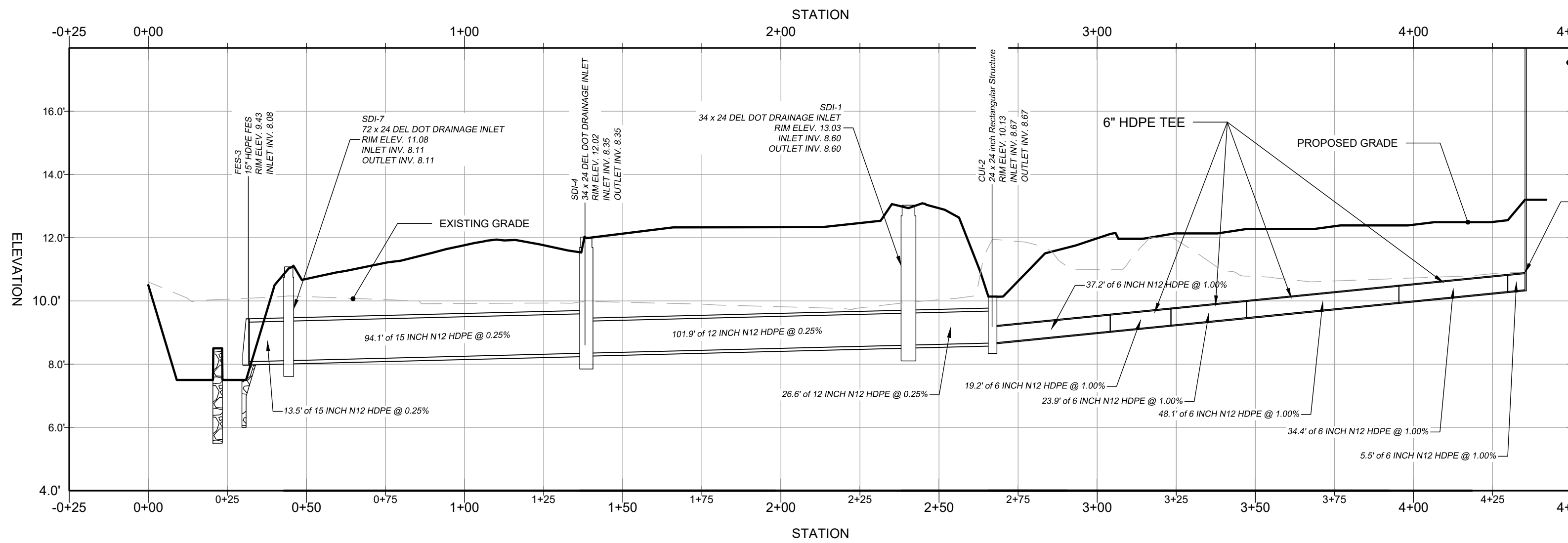
ALIGNMENT: I-1 TO FES-2  
 VERTICAL SCALE: 1" = 3'  
 HORIZONTAL SCALE: 1" = 30'



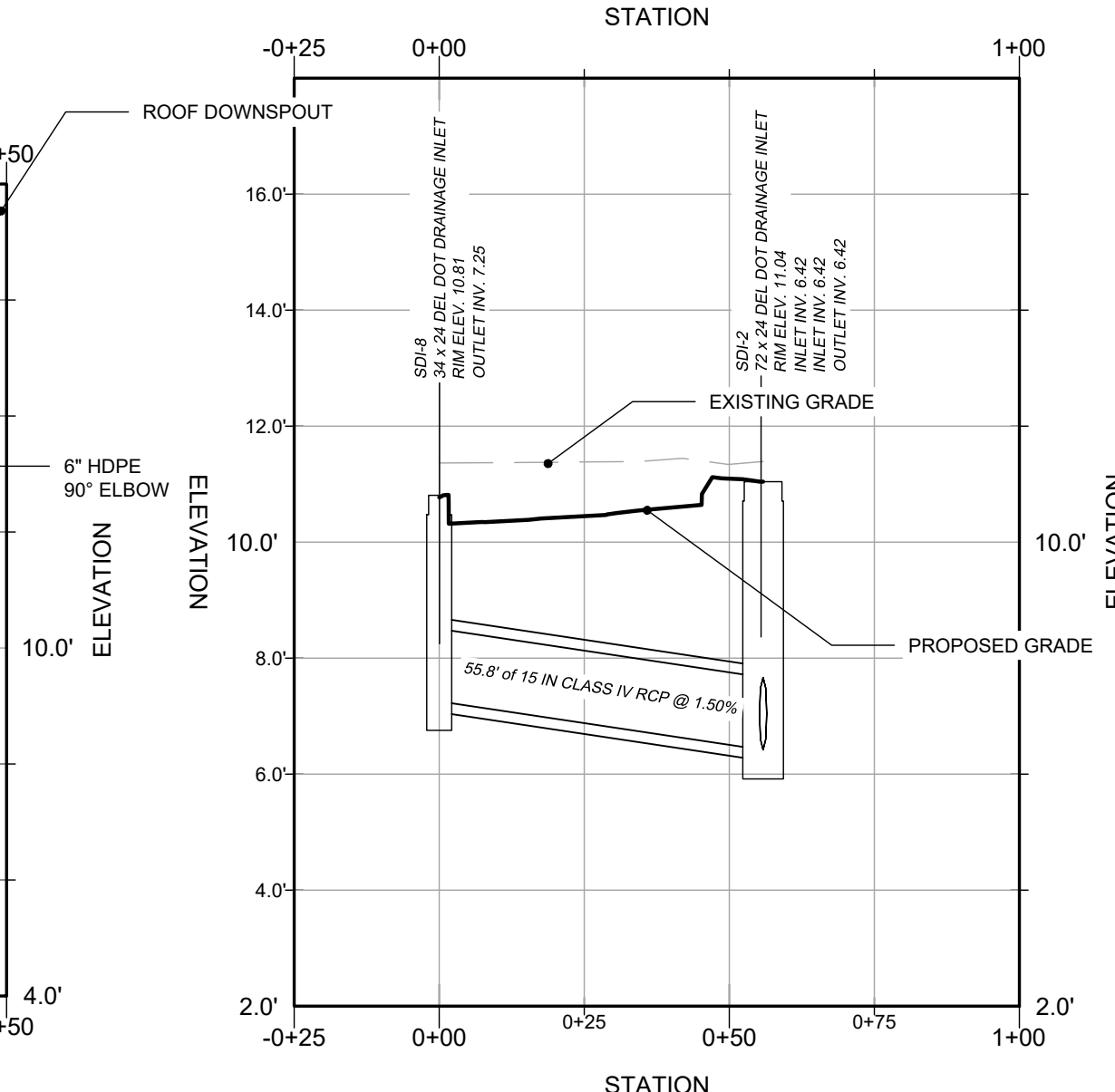
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 HORIZONTAL SCALE: 1" = 30'



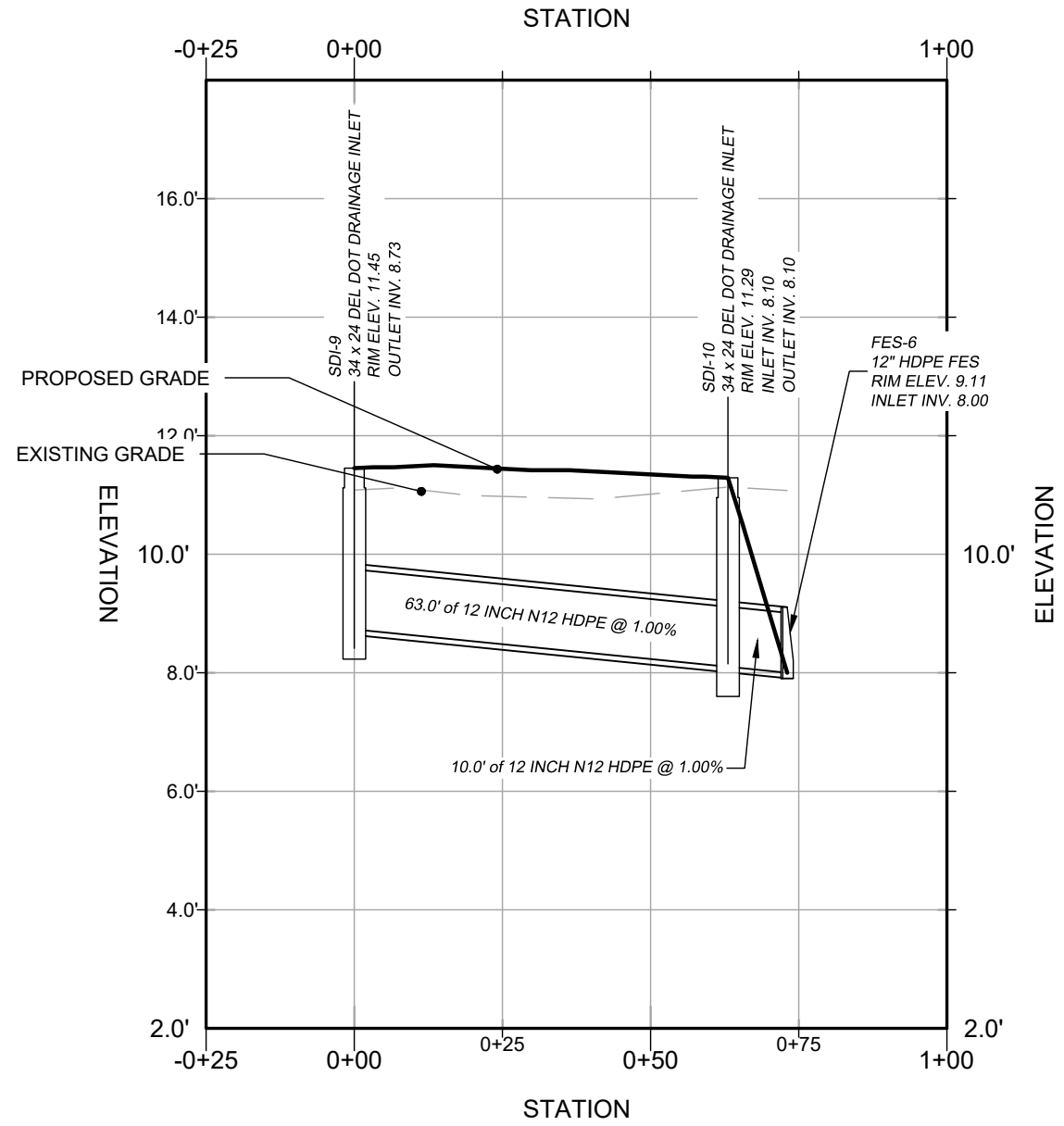
ALIGNMENT: SDI-5 TO CUI-1  
 VERTICAL SCALE: 1" = 3'  
 HORIZONTAL SCALE: 1" = 30'



ALIGNMENT: ROOF DOWNSPOUT TO FES-3  
 VERTICAL SCALE: 1" = 3'  
 HORIZONTAL SCALE: 1" = 30'



ALIGNMENT: SDI-8 TO SDI-2  
 VERTICAL SCALE: 1" = 3'  
 HORIZONTAL SCALE: 1" = 30'



ALIGNMENT: SDI-9 TO FES-6  
 VERTICAL SCALE: 1" = 3'  
 HORIZONTAL SCALE: 1" = 30'

**LINETYPE LEGEND**

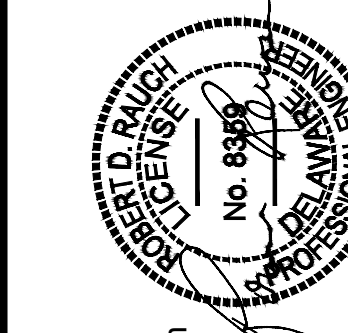
	PROPOSED GRADE
	EXISTING GRADE

SCALE:  
 H: 1" = 30'

STORM WATER MANAGEMENT PROFILES  
 OF THE LANDS OF  
**ARB REALTY HOLDINGS, LLC**  
 TAX ID: 134-12-00-134.00, 134-12-00-135.00  
 MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
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 License No. 8359  
 Expiration Date: June 30, 2024

REV.#	DATE	DESCRIPTION

**811**  
 DATE: 6/3/2024  
 SCALE: 1" = 30'  
 DRAWN BY: JWJ  
 DESIGNED BY: JWJ  
 APPROVED BY:  
**SHEET NO.: C-203**  
**FOR REVIEW**

### Standard Detail & Specifications Silt Fence

**Section**

Min. 40" stake length

Reinforcing strip over geosynthetic fabric (typ. each stake)

Min. 24" stake length above ground

Flow

Embed fabric min. 6" vertically into ground

Min. 16" stake length driven into ground

**Plan**

Ends placed upslope to contain runoff

6" Max.

2" X 2" wooden post (Typ.)

DATA  
Max. controlled slope

Source:	Symbol:	Detail No.
Adapted from MD Sits. & Specs. for ESC	<b>SF</b>	DE-ESC-3.1.2.1 Sheet 1 of 2 Effective July 2023

### Standard Detail & Specifications Silt Fence

**Construction Detail**

Post

Staple

Section A

Section B

Top

Method for joining continuous sections

**Construction Notes:**

- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

**Materials:**

- Stakes: Steel (either T or U) or 2" x 2" hardwood
- Geosynthetic Fabric: Type GD-I
- Reinforcing strip: Wooden lath or plastic strip

Source:	Symbol:	Detail No.
Adapted from MD Sits. & Specs. for ESC	<b>SF</b>	DE-ESC-3.1.2.1 Sheet 2 of 2 Effective July 2023

### Standard Detail & Specifications Stabilized Construction Entrance

**Plan**

50' min.

Wash rack (optional)

10' min.

10' min.

10' min.

DE #3 Stone

Provide positive drainage to sediment trapping device

**Profile**

50' min.

Mountable berm (as needed)

Exist. pave

Exist. gnd

GS-I geotextile

6" min.

Culvert pipe (as needed)

10' min.

Type GS-1 geotextile fabric

3" min.

3" min.

**Section A-A (Std.)**

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook	<b>SCE</b>	DE-ESC-3.4.7 Sheet 1 of 2 Effective July 2023

### Standard Detail & Specifications Stabilized Construction Entrance

Equipment wheel track + 2'

Metal bars set in reinforced conc. (traffic bearing grates, timber mats or other approved equiv. may be substituted)

Provide space for drainage

**Section A-A (Opt.)**

**Construction Notes:**

- Stone size - Use DE #3 stone.
- Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than size (6) inches.
- Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Geotextile - Type GS-I, placed over the entire area prior to placing of stone.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Inspection - Periodic inspection and needed maintenance shall be provided after each rain.

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook	<b>SCE</b>	DE-ESC-3.4.7 Sheet 2 of 2 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 1

**Plan**

Grate

5% slope or flatter

**Section A-A**

Attach GD-II geotextile fabric securely to 2"x4" wood frame; provide overlap at last section

Top frame required

Flooding height

2"x4" wood frame w/wire mesh backing, all 4 sides

12" Min., 18" Max.

5/8" Max.

12" Min.

**Inlet**

**NOTE:** Pre-manufactured products installed in accordance with manufacturer's recommendations may be used as an equivalent substitute with Departmental approval.

Source:	Symbol:	Detail No.
Adapted from Erosion Draw Manual J. McCullah & Assoc.	<b>IP-1</b>	DE-ESC-3.1.5.1 Sheet 1 of 2 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 1

**Construction Notes:**

- Excavate completely around inlet to a depth of 18" below grate elevation.
- Drive 2" x 4" post 1' into ground at four corners of inlet. Place nail strips between posts on ends of inlet. Assemble top portion of 2" x 4" frame using overlap joint shown. Top of frame (weir) must be 6" below edge of roadway adjacent to inlet.
- Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
- Stretch geotextile fabric tightly over wire mesh, the cloth must extend from top of frame to 18" below inlet grate elevation. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
- Backfill around inlet in compacted 6" layers until at least 12" of geotextile fabric is buried.
- If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 6" higher than the top of frame (weir).
- This structure must be inspected frequently and the filter fabric replaced when clogged.

**Materials:**

- Wooden frame is to be constructed of 2" x 4" construction grade lumber.
- Wire mesh must be of sufficient strength to support filter fabric with water fully impounded against it.
- Geotextile fabric: Type GD-II

Source:	Symbol:	Detail No.
Adapted from Erosion Draw Manual J. McCullah & Assoc.	<b>IP-1</b>	DE-ESC-3.1.5.1 Sheet 2 of 2 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 2

**Bag Detail**

Dump straps, 2 ea.

Expansion restraint (1/4" nylon rope w/2" flat washers)

1" rebar for bag removal from inlet

Dump strap

GD-III geotextile inlet insert

**Perspective**

**NOTE:** Pre-manufactured products installed in accordance with manufacturer's recommendations may be used as an equivalent substitute with Departmental approval.

Source:	Symbol:	Detail No.
Adapted from ACF Products, Inc.	<b>IP-2</b>	DE-ESC-3.1.5.2 Sheet 1 of 2 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 2

**Notes:**

- This practice shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site constraints. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for oil run-off or spills, insert shall meet one of the above specifications with an oil-absorbent pillow or shall be made completely from an oil-absorbent material with a woven pillow.

**Materials:**

The geotextile inlet insert shall meet or exceed the specifications of Type GD-III geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

Source:	Symbol:	Detail No.
Adapted from ACF Products, Inc.	<b>IP-2</b>	DE-ESC-3.1.5.2 Sheet 2 of 2 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 3

**Plan View - Concrete Block Option**

Grate log or concrete block to secure end to curb (as needed)

Curb opening

2" min. taper opening (typ.)

Concrete blocks used to keep log in place in front of grate as needed (back of topcoat may be sufficient to keep log in place)

8" min. compost filter log or alternate media

**Isometric View - Wire Mesh Option**

Welded wire mesh, min. opening 1" x 2"

1" min. taper opening (typ.)

Strapping to secure wire mesh to the log (also strap around grate if applicable)

Source:	Symbol:	Detail No.
Adapted from Filtrex™ International	<b>IP-3</b>	DE-ESC-3.1.5.3 Sheet 1 of 3 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 3

**Notes:**

- This practice shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site constraints. These include, but are not limited to partially complete parking areas, streets, roads, etc., having a throat or curb opening. It should be used in conjunction with Type 2 Inlet Protection when a grate is also present.
- The filter log sock fabric shall be high durability netting material to resist puncture and wear in the traffic areas. If compost media is used to fill the sock it must meet the Standards and Specifications for Compost Material in the Appendix, except that the maximum pass through for a 3/8" screen shall be 20% to allow for higher flow through. Additives, such as soluble phosphorus and petroleum hydrocarbons, can be mixed with the compost media to aid in pollutant removal, if desired. Reference the Compost Filter Log design guidelines for additional requirements on the high durability netting material, compost media, and sock filling and installation procedures. Reference the design alternatives below for additional log media options.
- The maximum contributing drainage area shall be 3 acres, or as recommended by the manufacturer. 8" diameter socks shall be used for standard roadway applications. If in a highly disturbed area, the Engineer or Site Reviewer may opt for larger socks, either 12" or 18" depending on the need. (If used as a replacement for Type 1 Inlet Protection with special approval, minimum 12" diameter socks shall be used.) The top of the log may need to be flattened so that it is always below the top of curb elevation with a minimum 1" opening in order to prevent localized flooding.
- Concrete blocks shall be used to aid in the log shape and prevent it from entering into the throat. They should be placed between the log and the throat opening, and used to secure the ends of the log against the curb if needed. The end of the log shall extend a minimum of 2 feet past the end of the throat opening. If a grate is also present in addition to the throat opening, the concrete blocks can either be laid perpendicular to the curb (recommended) so that the log lies on the outside of the grate, or parallel to the curb so that the log lies on top of the grate (note, Type 2 Inlet Protection is also used in conjunction with Type 3 if a grate is present). Sand bags can be used as an alternate to the concrete blocks at the end of the log to secure the log against the curb.

Source:	Symbol:	Detail No.
Adapted from Filtrex™ International	<b>IP-3</b>	DE-ESC-3.1.5.3 Sheet 2 of 3 Effective July 2023

### Standard Detail & Specifications Inlet Protection - Type 3

- If concrete blocks are not desired due to high traffic volumes, a welded wire screen in an "S" shape can be fitted over the length of the opening and secured to the log with straps, such as zip-ties. This will prevent the sock from falling into the opening. In this case, the log only needs to extend past the curb opening a minimum of 1 foot.
- In all cases, the log shall provide a physical barrier to the catchbasin to allow for ponding and sedimentation along the upstream side of the log. The logs shall be placed on flat surfaces and maintain constant contact with the paved surface. Any daylight will allow for untreated discharge and is not permitted.
- All structures must be inspected frequently (24 hours after a storm event and weekly) for proper function. Accumulated sediment shall be removed to avoid future failure, and must not exceed half of the effective height of the log. Reference manufacturer's recommendations for additional maintenance.

**Alternatives:**

- In lieu of the compost filter log, crushed DE #3 stone with a fractured face on all sides that is double wrapped in 1" chicken wire made from 10 gauge wire may be used. The wire should be secured using hog rings or wire ties on 6" centers along the length of the joint, and on 1" center on the ends of the rock sock. All installation and maintenance criteria are the same as the compost log above.
- In lieu of the compost filter media, 100% shredded rubber (typically from tires) can be used.
- For applications that have a grate and a throat inlet, some Type 2 Inlet Protection manufacturers have developed a catchbasin sack insert that also have a tubular attachment which rests above the grate and against the throat. As long as the sack meets the requirements of Type 2 Inlet Protection, and the provided throat protection extends a minimum of 1' past the limits of the curb opening, without any daylight along the edges, these combination Type 2 and Type 3 devices may be used upon approval of the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Adapted from Filtrex™ International	<b>IP-3</b>	DE-ESC-3.1.5.3 Sheet 3 of 3 Effective July 2023

EROSION & SEDIMENT CONTROL DETAILS

OF THE LANDS OF

**ARB REALTY HOLDINGS, LLC**

TAX ID: 134-12-00-134.00, 134-12-00-135.00

MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

PREPARED FOR 1ST TEAM Staffing Services

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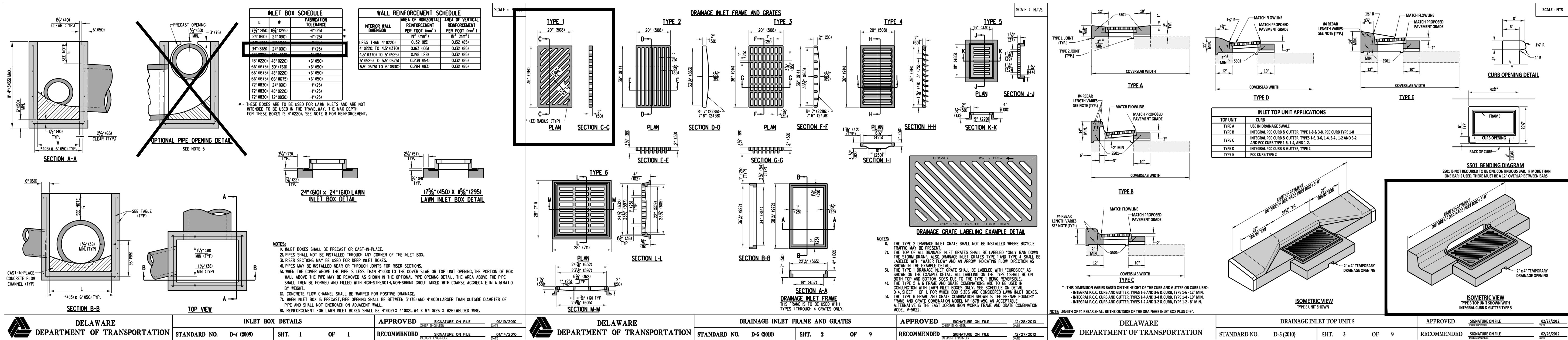
Professional Certification  
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License No. 8359  
Expiration Date: June 30, 2024

**REVISIONS**

REV.#	DATE	DESCRIPTION

DATE: 4/3/2024  
SCALE: 1" = 20'  
DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY:   
**SHEET NO.: C-205.01**

**FOR REVIEW**



DELAWARE DEPARTMENT OF TRANSPORTATION

INLET BOX DETAILS  
STANDARD NO. D-4 (2009)  
SHT. 1 OF 1  
APPROVED [Signature] DATE 01/18/2010

DELAWARE DEPARTMENT OF TRANSPORTATION

DRAINAGE INLET FRAME AND GRATES  
STANDARD NO. D-4 (2010)  
SHT. 2 OF 9  
APPROVED [Signature] DATE 01/14/2010

DELAWARE DEPARTMENT OF TRANSPORTATION

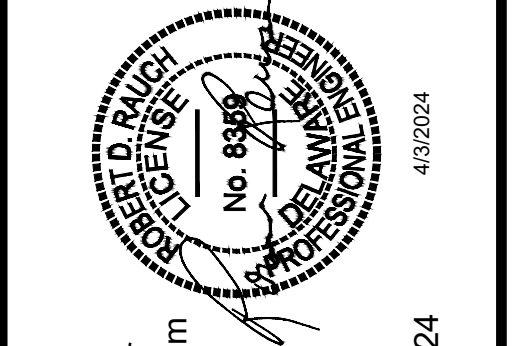
DRAINAGE INLET TOP UNITS  
STANDARD NO. D-5 (2010)  
SHT. 3 OF 9  
APPROVED [Signature] DATE 02/27/2012

DELAWARE DEPARTMENT OF TRANSPORTATION

APPROVED [Signature] DATE 02/24/2012

STORMWATER MANAGEMENT DETAILS  
OF THE LANDS OF  
**ARB REALTY HOLDINGS, LLC**  
TAX ID: 134-12-00-134.00, 134-12-00-135.00  
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
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DATE: 4/3/2024  
SCALE: 1" = 20"  
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DESIGNED BY: JWJ  
APPROVED BY: [Signature]  
SHEET NO.: C-205.02  
FOR REVIEW



- PROPOSED SITE FEATURES**
- 1 8" CONCRETE CURB & 18" CONCRETE GUTTER, TYPE 3-6. DETAIL ON C-305.
  - 2 ASPHALT PARKING LOT
  - 3 651 S.F. SUBMERGED GRAVEL WETLAND
  - 4 315 S.F. SUBMERGED GRAVEL WETLAND FOREBAY
  - 5 RIGHT TURN LANE
  - 6 90' PARKING SPACE. QTY - 10
  - 7 HANDICAP ACCESS ASILE
  - 8 CONCRETE SIDEWALK
  - 9 CROSSWALK
  - 10 8,080 S.F. CAR WASH. F.F.E. = 13.0'
  - 11 5' WIDE BIKE LANE
  - 12 DUMPSTER
  - 13 400 S.F. UTILITY SHED. F.F.E. = 11.63'
  - 14 PAY STATION
  - 15 LIMITS OF DISTURBANCE
  - 16 STOP BAR
  - 17 STOP SIGN
  - 18 SELF-SERVE VACUUM (TYPICAL-10)
  - 19 PAVEMENT STRIPING AND SYMBOLS PER DE MUTCD, MOST RECENT EDITION.
  - 20 8" CONCRETE CURB, TYPE 1-6. DETAIL ON C-305.
  - 21 RELOCATED VERIZON POLE. 24" OFF THE BACK OF CURB
  - 22 1,657 S.F. DETENTION POND
  - 23 176 S.F. DETENTION POND FOREBAY

**SITE GRADING PLAN**  
OF THE LANDS OF

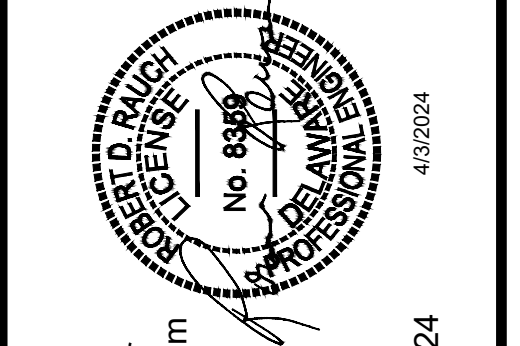
**ARB REALTY HOLDINGS, LLC**

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MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
PREPARED FOR 1ST TEAM Staffing Services

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License No. 8359  
Expiration Date: June 30, 2024

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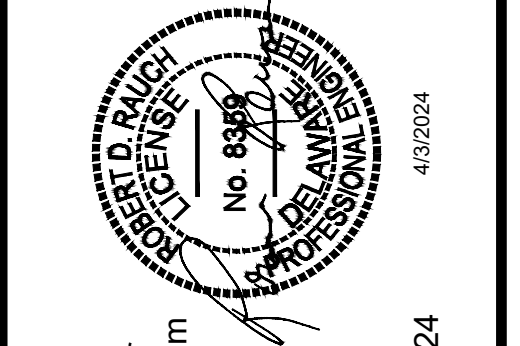
MRS. UTILITY OF DELAWARE  
CALL BEFORE YOU DIG

DATE: 6/30/2024  
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DESIGNED BY: JWJ  
APPROVED BY: \_\_\_\_\_

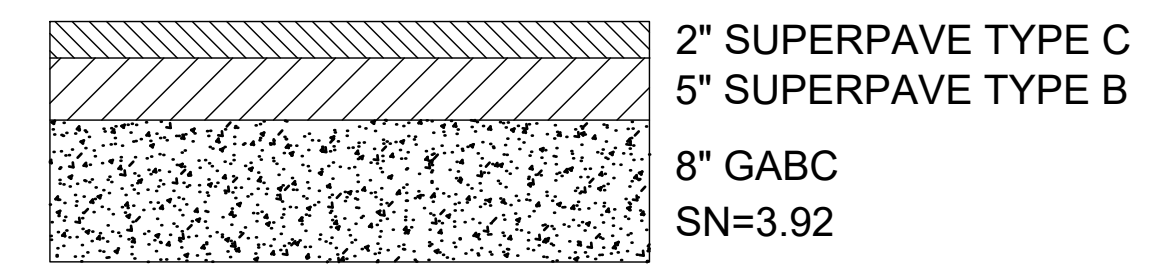
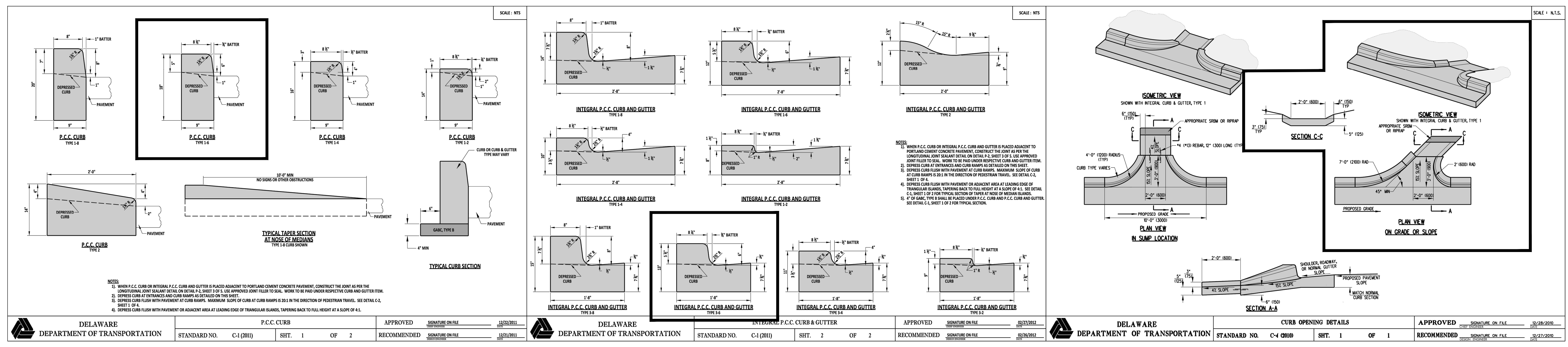
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FOR REVIEW

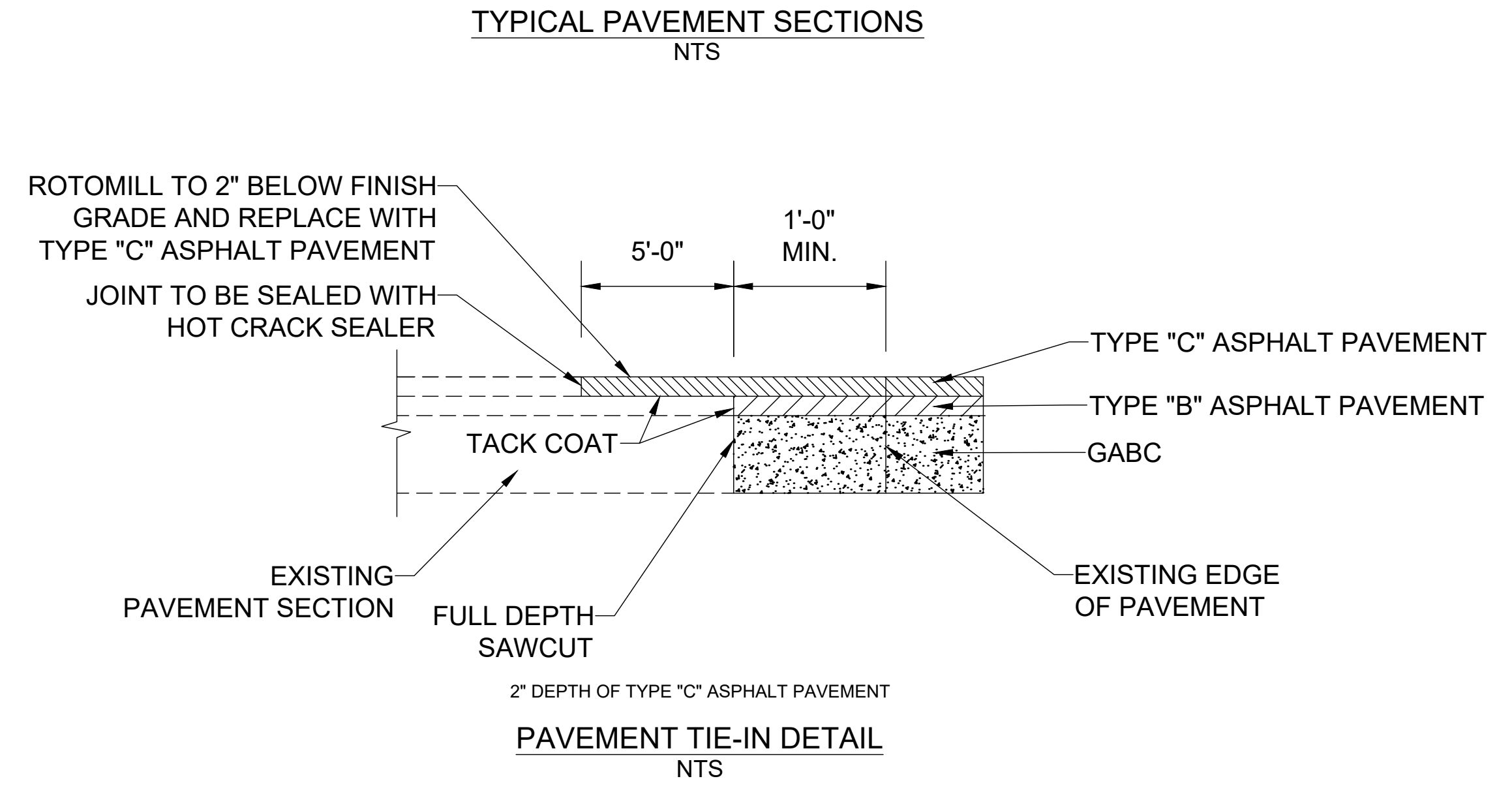




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Expiration Date: June 30, 2024



SYMBOL	ITEM
(A)	ITEM 401804 - SUPERPAVE TYPE C. 160 GYRATION. PG 70-22
(B)	ITEM 401813 - SUPERPAVE TYPE B. 160 GYRATION. PG 70-22
(C)	ITEM 302007 - GRADED AGGREGATE BASE COURSE, TYPE B
(D)	GRASS STRIP (WIDTH AS NOTED) -ITEM 908004 - TOPSOIL, 6" DEPTH OR -ITEM 908010 - TOPSOILING, 6" DEPTH -ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND -ITEM 908020 - EROSION CONTROL BLANKET



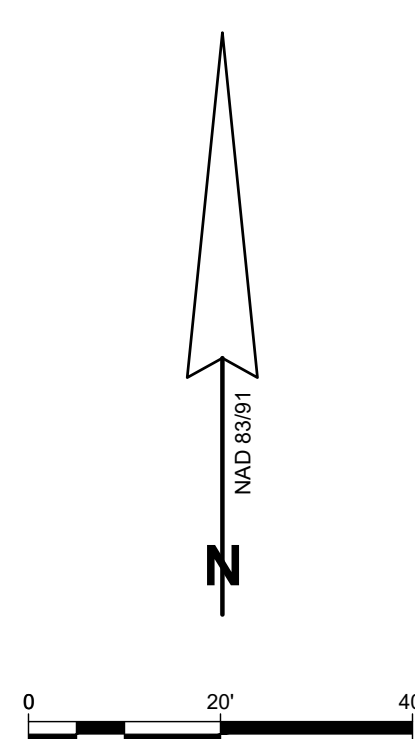
REVISIONS	DESCRIPTION	DATE	REV.#

DATE: 4/3/2024  
SCALE: 1" = 20'  
DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY:   
SHEET NO.: C-305  
**FOR REVIEW**



- PROPOSED SITE FEATURES**
- 1 8,080 S.F. CAR WASH, F.F.E. = 13.20'
  - 2 400 S.F. UTILITY SHED, F.F.E. = 11.91'
  - 3 651 S.F. SUBMERGED GRAVEL WETLAND
  - 4 315 S.F. SUBMERGED GRAVEL WETLAND FOREBAY
  - 5 PROPERTY LINE
  - 6 FLARED END SECTION (TYPICAL - 5)
  - 7 GABION BAKSET
  - 8 ROOF DOWNSPOUT TYPICAL
  - 9 1,657 S.F. DETENTION POND
  - 10 176 S.F. DETENTION POND FOREBAY
  - 11 RIP RAP OUTLET PROTECTION

- EXISTING SITE FEATURES**
- 1 PROPERTY LINE
  - 2 PEDESTRIAN PATH



STORM WATER MANAGEMENT PLAN  
OF THE LANDS OF  
**ARB REALTY HOLDINGS, LLC**  
TAX ID: 134-12.00-134.00, 134-12.00-135.00  
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
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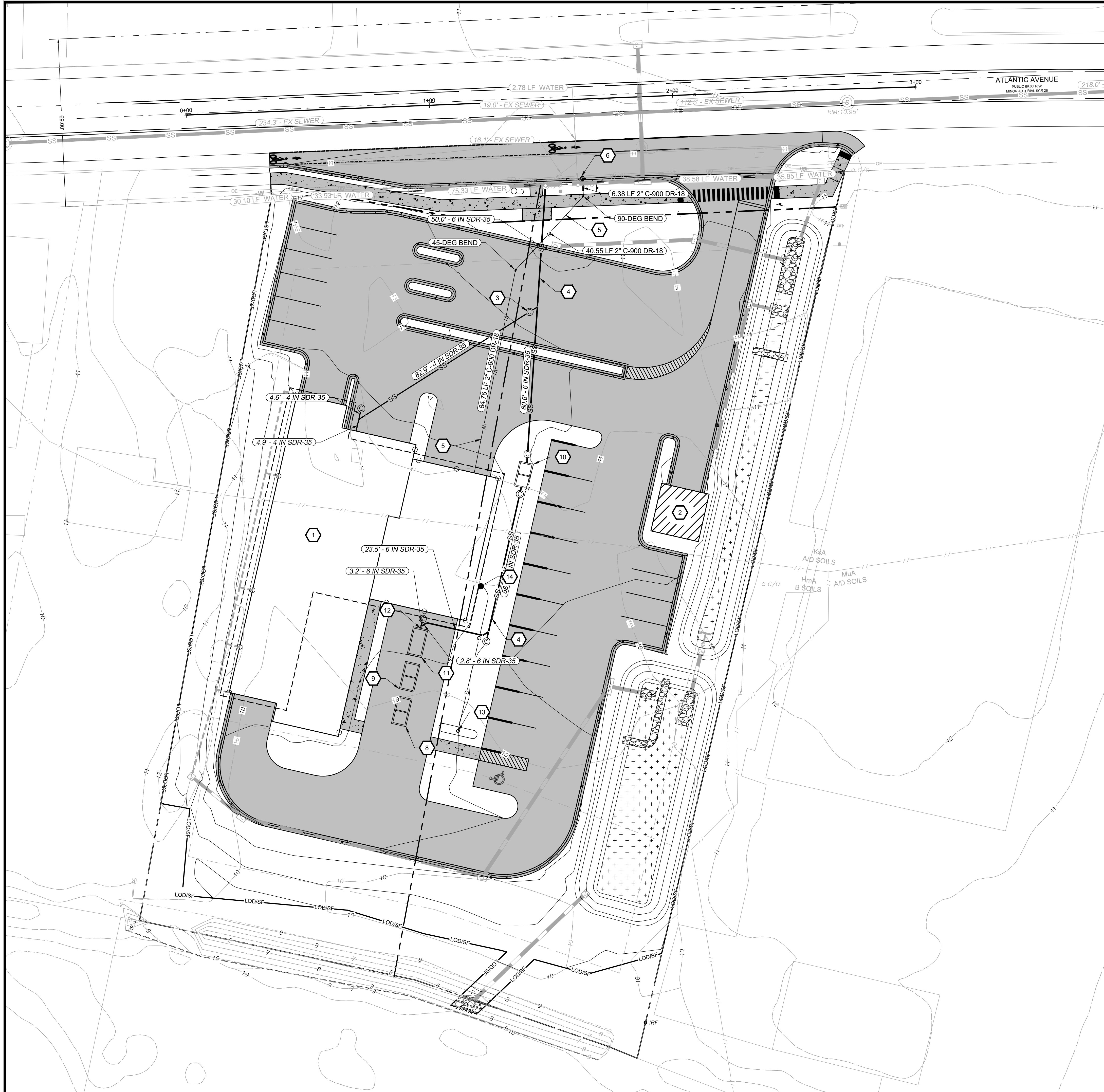
**Professional Certification**  
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D. RAUCH  
No. 8359  
Professional Engineer  
4/3/2024  
Expiration Date: June 30, 2024

REV. #	DATE	DESCRIPTION

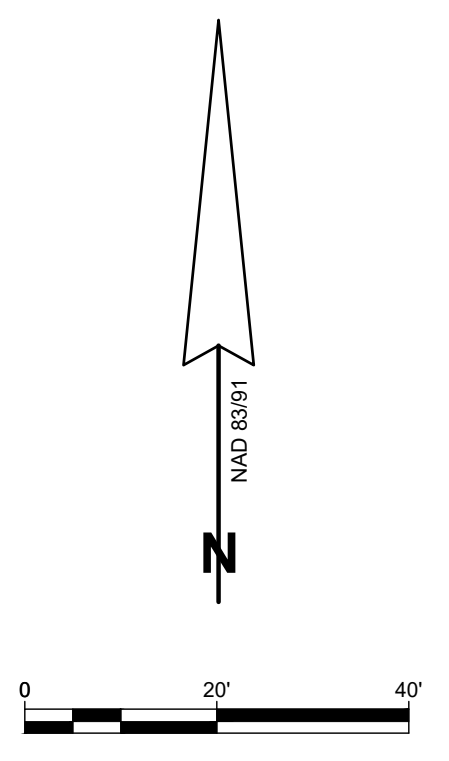
DATE: 4/3/2024  
SCALE: 1" = 20'  
DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY:

SHEET NO.: **C-401**

**FOR REVIEW**



- UTILITY CONSTRUCTION NOTES**
- 1 8,080 S.F. CAR WASH. F.F.E. = 13.20'
  - 2 400 S.F. UTILITY SHED. F.F.E. = 11.91'
  - 3 6" PVC SEWER CLEANOUT TYPICAL
  - 4 6" SDR-35 SEWER LATERAL
  - 5 4" C-900 WATER MAIN
  - 6 WET TAP INTO EXISTING WATER MAIN
  - 7 WATER METER
  - 8 2,000 GALLON H2O RECLAIM TANK #1
  - 9 2,000 GALLON H2O RECLAIM TANK #2
  - 10 1,500 GALLON H2O OIL GRIT SEPARATOR
  - 11 2,000 GALLON H2O RECLAIM TANK #3
  - 12 SEE CAR WASH MECHANICAL PLAN FOR MORE INFORMATION
  - 13 1,000 GALLON UNDERGROUND PROPANE TANK. SEE MEP PLANS FOR MORE INFORMATION
  - 14 GAS LINE. SEE MEP PLANS FOR MORE INFORMATION.



**UTILITY PLAN**  
OF THE LANDS OF

**ARB REALTY HOLDINGS, LLC**  
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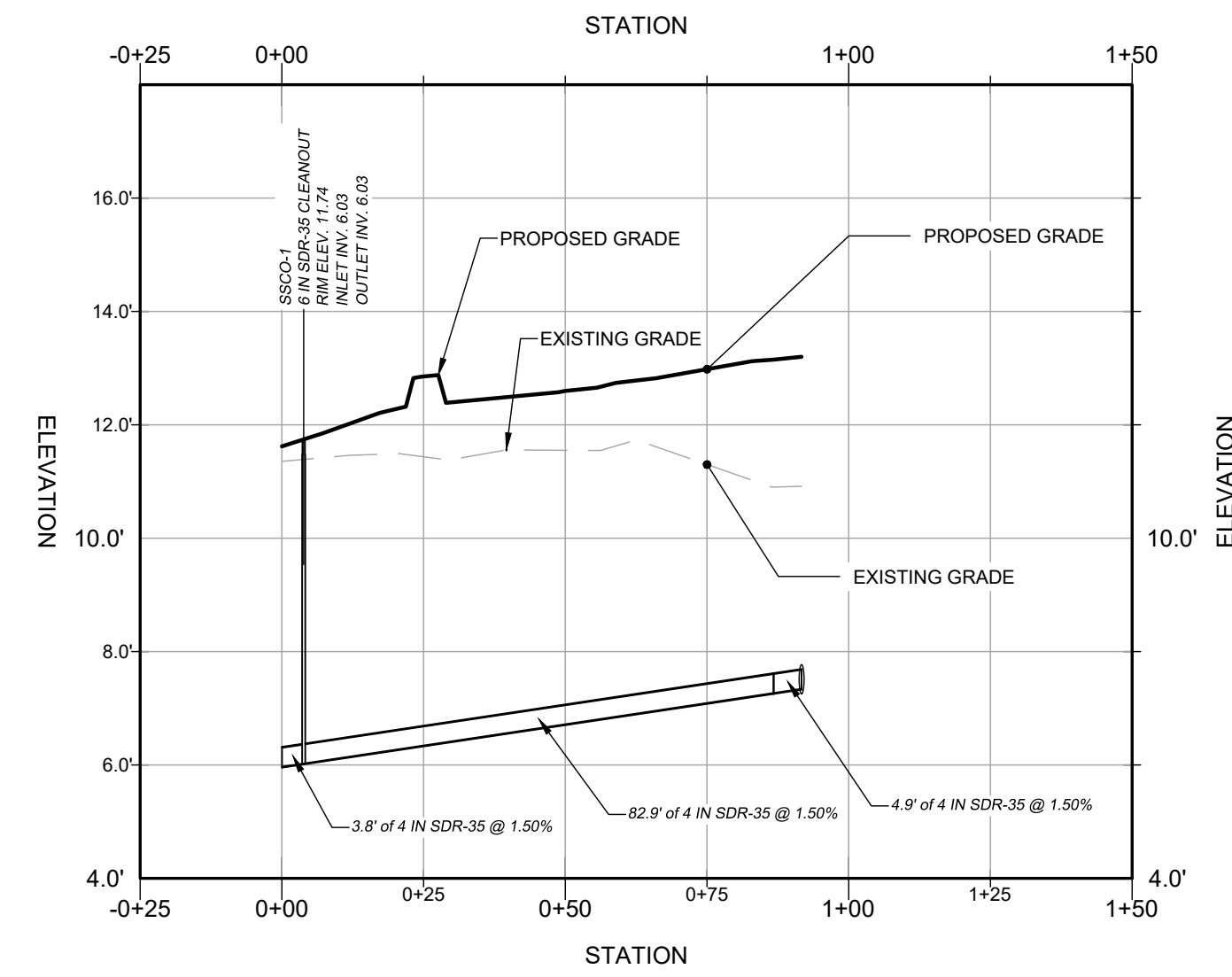
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DESIGNED BY: JWJ  
APPROVED BY:

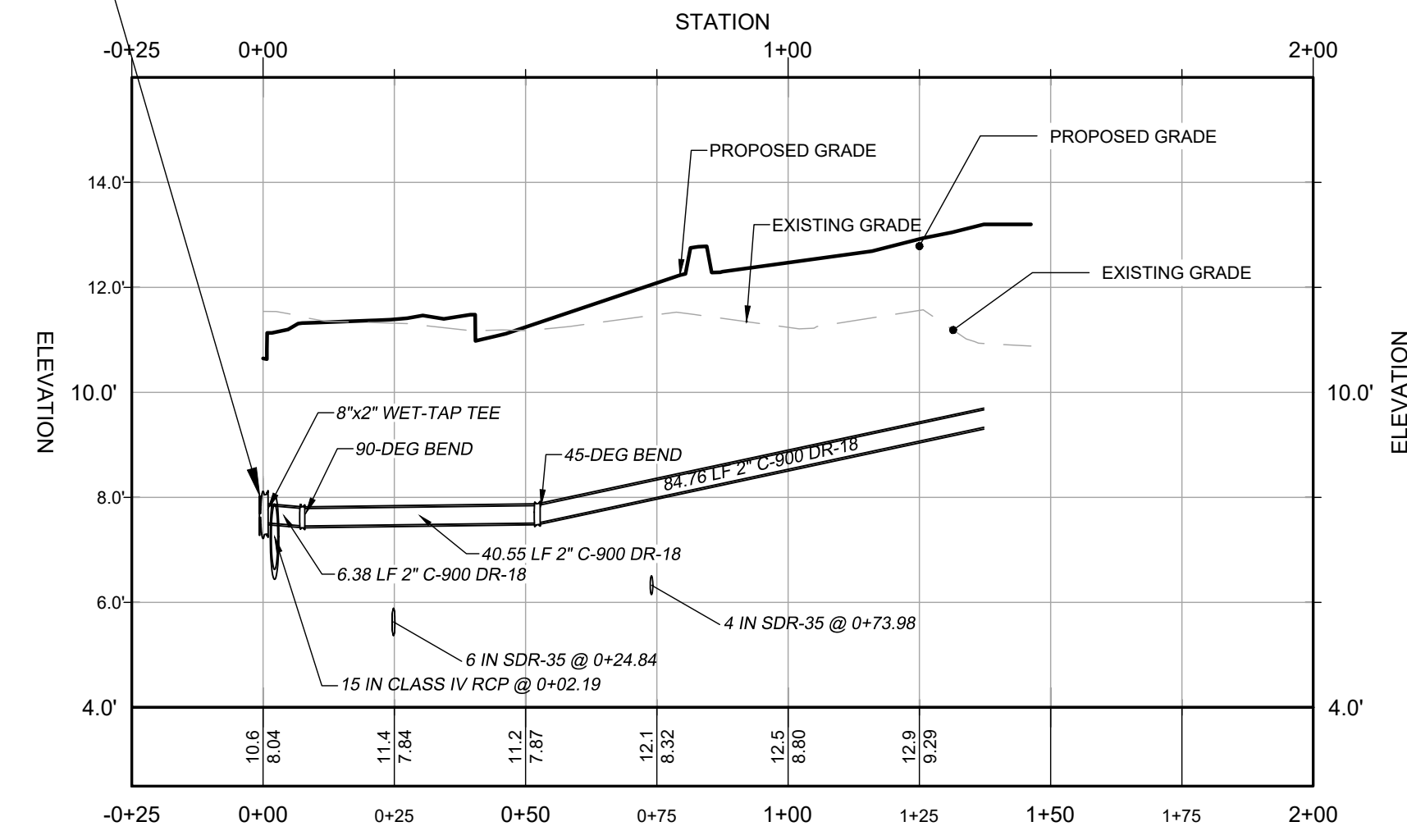
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**FOR REVIEW**

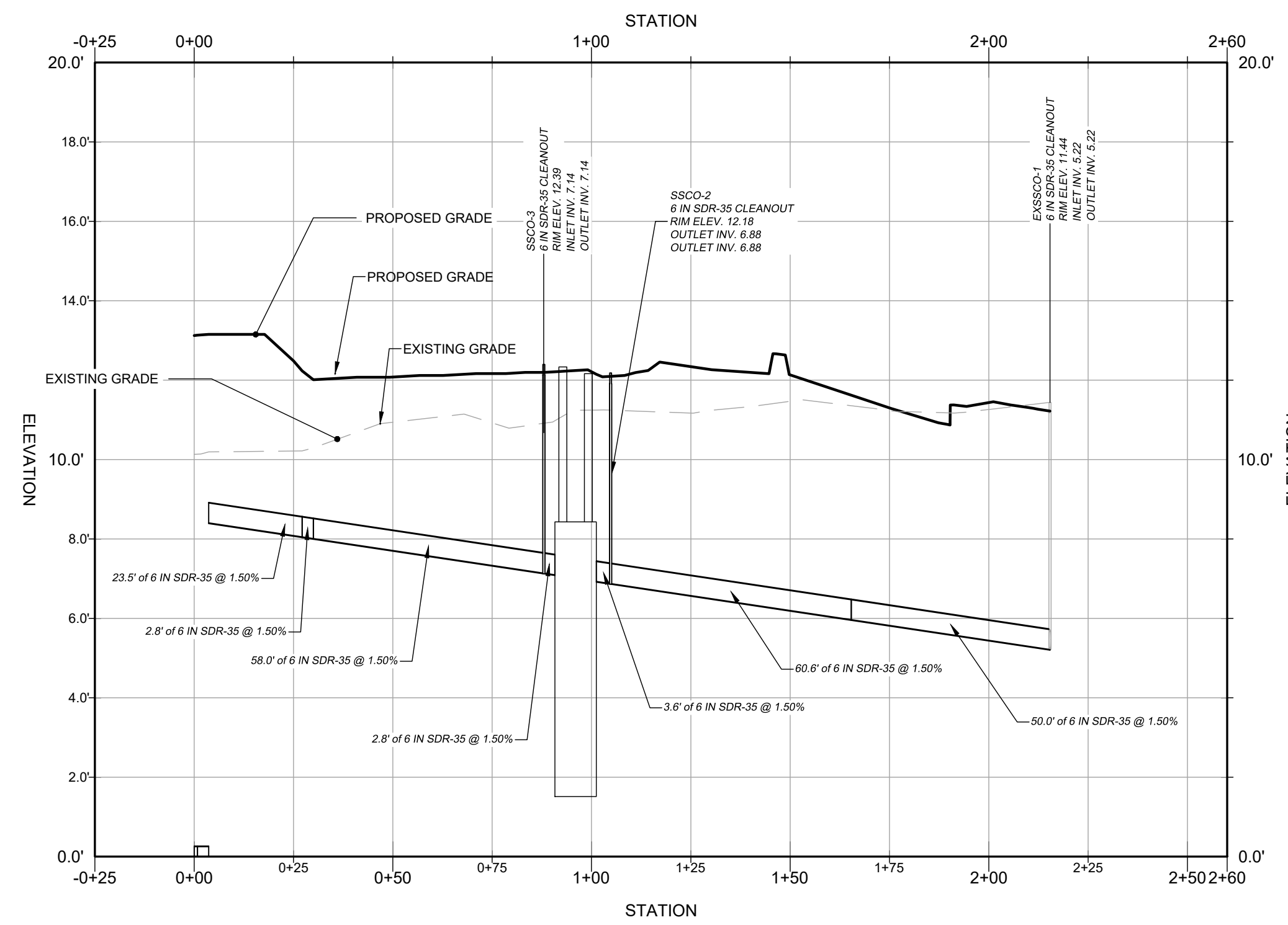
EX WATER CONTRACTOR TO TEST PIT TO VERIFY SIZE MATERIAL, AND LOCATION OF EXISTING MAIN.  
IF A CROSSING CONFLICT OCCURS BETWEEN WATER AND PROPOSED STORM DRAIN, CONTRACTOR SHALL BEND EXISTING WATER MAIN TO ALLOW PROPOSED SERVICE TO GO UNDER STORM PIPE PRIOR TO STORM PIPE INSTALLATION.



ALIGNMENT: SEWER #1  
VERTICAL SCALE: 1" = 3'  
HORIZONTAL SCALE: 1" = 30'



ALIGNMENT WATER LATERAL  
VERTICAL SCALE: 1" = 3'  
HORIZONTAL SCALE: 1" = 30'



ALIGNMENT: SEWER #2  
VERTICAL SCALE: 1" = 3'  
HORIZONTAL SCALE: 1" = 30'

**LINETYPE LEGEND**

—	PROPOSED GRADE
- - -	EXISTING GRADE

SCALE:  
H: 1" = 30'

UTILITY LATERL PROFILES  
OF THE LANDS OF

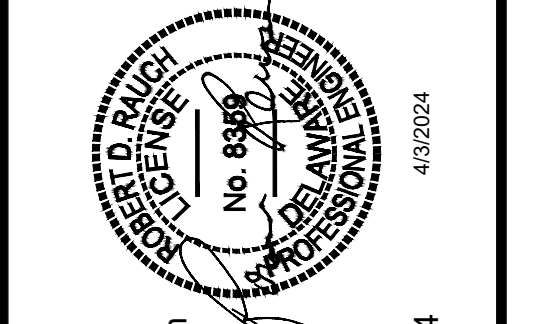
**ARB REALTY HOLDINGS, LLC**

TAX ID: 134-12,00-134.00, 134-12,00-135.00  
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
PREPARED FOR 1ST TEAM Staffing Services

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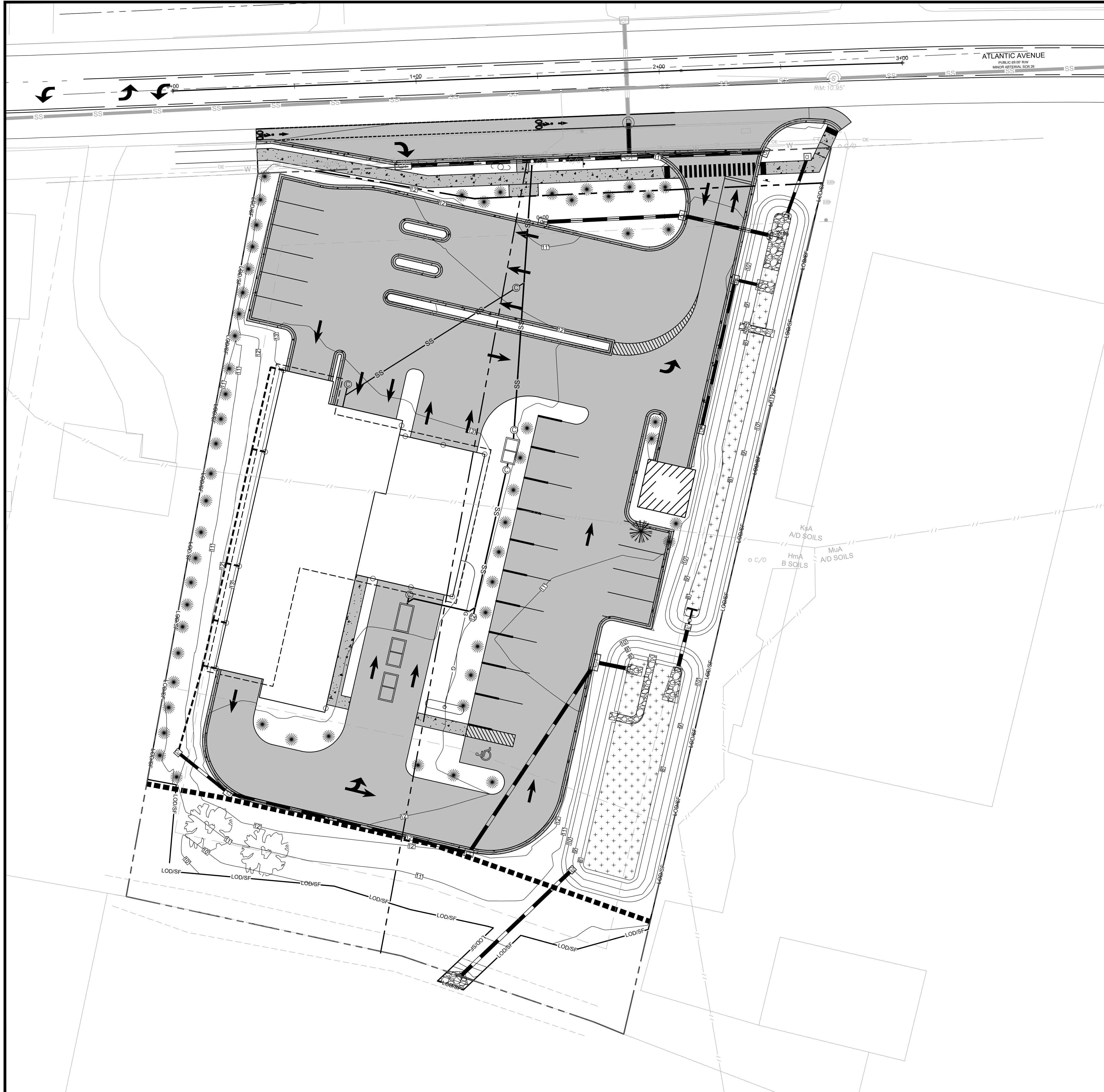
REV. #	DATE	DESCRIPTION

DATE: 4/3/2024  
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DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY: \_\_\_\_\_

SHEET NO.: **C-503**



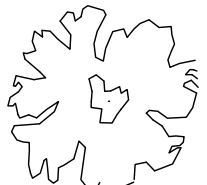
FOR REVIEW





- PROPOSED LANDSCAPING FEATURES**
- 1 DELDOT INTEGRAL PCC CURB & GUTTER TYPE 3-6
  - ASPHALT PARKING LOT

**LANDSCAPING LEGEND**

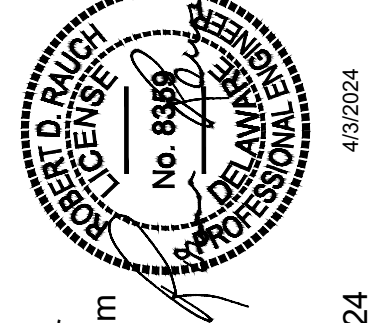
- LARGE SHRUB (QTY: 57) 
- EVERGREEN TREE (QTY: 1) 
- CANOPY TREE (QTY: 2) 

LANDSCAPING PLAN  
OF THE LANDS OF

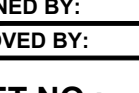
**ARB REALTY HOLDINGS, LLC**  
TAX ID: 134-12.00-134.00, 134-12.00-135.00  
MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
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License No. 8359  
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REV. #	DATE	DESCRIPTION

DATE: 1/25/2024  
SCALE: 1" = 20'  
DRAWN BY: JWJ  
DESIGNED BY: JWJ  
APPROVED BY: 

**811**  
MISS UTILITY OF DELAWARE  
CALL BEFORE YOU DIG

SHEET NO.: **C-601**

**FOR REVIEW**