

MILLROSE TOWN OF MILLVILLE SUSSEX COUNTY, DELAWARE

DBF # 3738A005

JULY, 2025

PRELIMINARY PLANS

ENGINEER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Clifton D. Mumford

CLIFTON D. MUMFORD, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963

08/06/2025
DATE

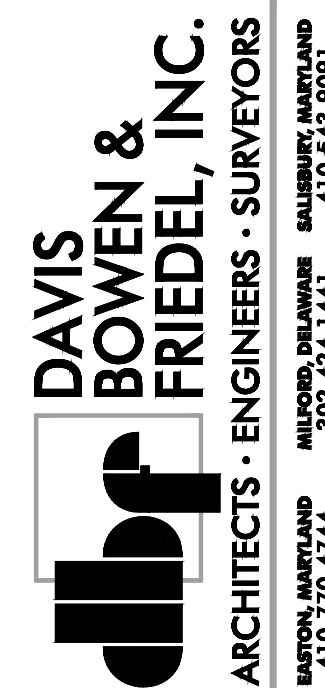


OWNER'S STATEMENT

WE, THE UNDERSIGNED, CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY OUR DIRECTION AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

FOXLANE HOMES DELAWARE
JOHN MURRAY
32191 NASSAU ROAD, UNIT 2
LEWES, DE 19958

DATE

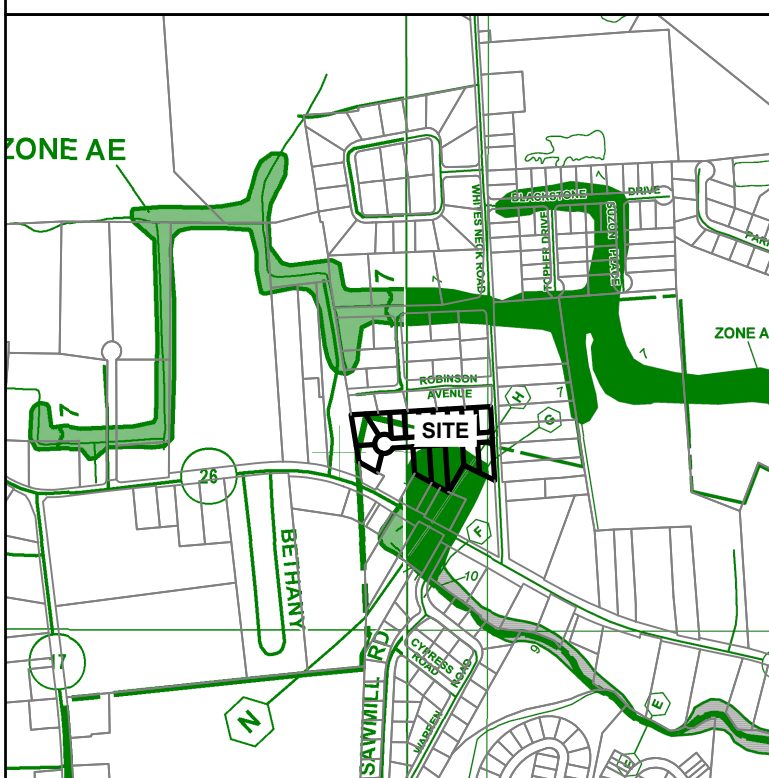


GENERAL NOTES

- THE DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE OF SEDIMENT & STORMWATER CONTROLS DURING CONSTRUCTION AND UNTIL ALL LOTS WITHIN THE DEVELOPMENT HAVE BEEN SOLD. AFTER THAT TIME AND PROJECT CLOSEOUT BY SUSSEX CONSERVATION DISTRICT RESPONSIBILITY FOR LONG TERM MAINTENANCE OF STORMWATER CONTROLS SHALL BE ASSUMED BY THE HOMEOWNER'S ASSOCIATION.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS THEY DEEM NECESSARY.
- ALL PURCHASERS SHALL PERMIT THE DEVELOPER OR HIS ASSIGNS TEMPORARY TRESPASS UPON THE PURCHASER'S LOT OR LOTS TO COMPLETE GRADING OR LANDSCAPE AS REQUIRED BY THE APPROVED PLANS FOR A PERIOD OF ONE (1) YEAR, COMMENCING WITH THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL OPEN SPACE, LANDSCAPE BUFFERS AND STORMWATER MANAGEMENT AREAS SHALL BE OWNED AND MANAGED BY THE DEVELOPER UNTIL TRANSFERRED TO THE HOMEOWNER'S ASSOCIATION.
- ALL SWM AREAS WILL BE MAINTAINED IN ACCORDANCE WITH DESIGN AND SPECIFICATIONS FOR THE SPECIFIC SWM AREA. THIS INFORMATION WILL BE PROVIDED TO THE HOMEOWNER'S ASSOCIATION PRIOR TO TURNOVER.
- IN ADDITION TO EASEMENTS SHOWN ON THIS PLAN, A TEN (10) FOOT WIDE BLANKET EASEMENT ALONG BOTH THE FRONT AND REAR PROPERTY LINES AND AN EIGHT (8) FOOT WIDE BLANKET EASEMENT ALONG THE SIDE PROPERTY LINES ARE HEREBY DEDICATED TO BE AVAILABLE FOR ANY UTILITY AND DRAINAGE USE, UNLESS NOTED OTHERWISE ON THE PLANS.
- BOUNDARY INFORMATION, EXISTING UTILITIES, AND TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD RUN SURVEY PERFORMED BY DAVIS, BOWEN AND FRIEDEL, INC. (DBF) IN MAY, 2024 AND INFORMATION FOUND AT THE RECORDER OF DEEDS OFFICE FOR SUSSEX COUNTY.
- A WETLANDS DELINEATION WAS PERFORMED BY ENVIRONMENTAL RESOURCES, INC. IN JUNE 2024.
- THIS PLAN DOES NOT VERIFY THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING THE SUBJECT PROPERTY AS NO TITLE SEARCH WAS PERFORMED OR PROVIDED.
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL ADJACENT PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- MAINTENANCE OF THE STREETS WITHIN THE SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE HOME OWNERS ASSOCIATION WITHIN THE SUBDIVISION, OR BOTH. WHEN ALL LOTS ARE PURCHASED, THE HOME OWNERS ASSOCIATION WILL BE SOLELY RESPONSIBLE FOR THE MAINTENANCE OF THE INTERIOR STREETS. NEITHER THE STATE OF DELAWARE NOR THE TOWN OF MILLVILLE ASSUME ANY RESPONSIBILITY FOR FUTURE MAINTENANCE OF THE STREETS.



LOCATION MAP
1"=1200'



FLOODPLAIN MAP
PANEL 10005C0322K & 10005C0194K (MARCH 16, 2015) 1"=1000'



NW1 WETLANDS
1"=800'



SOILS MAP
1"=800'

SOILS DATA

LABEL	SOIL NAME	TYPE
Roa	ROSDALE LOAMY SAND, 0-2% SLOPES	A

DATA COLUMN

1	TAX MAP ID	134-12.00-1501.00 TO 134-12.00-1509.00, 134-12.00-1511.00 TO 134-12.00-1515.00 & 134-12.00-16.00	
2	APPROXIMATE PROJECT CENTER	<u>LATITUDE</u> 38.5515	<u>LONGITUDE</u> -75.1246
3	ENGINEER DAVIS, BOWEN & FRIEDEL, INC. 1 PARK AVENUE MILFORD, DE 19963 CLIFTON D. MUMFORD, P.E. PHONE: (302) 424-1441 EMAIL: cdm@dbfinc.com	OWNER/DEVELOPER FOXLANE HOMES DELAWARE . 32191 NASSAU ROAD UNIT 2 LEWES, DE 19958 JOHN MURRAY PHONE: 302-344-1055 JMURRAY@FOXLANEHOMES.COM	
4	DATUM	<u>HORIZONTAL</u> NAD 83 (DE STATE PLANE)	<u>VERTICAL</u> NAVD 88
5	DEED REFERENCE	DB 6136 PG 5	
6	ZONING	<u>EXISTING</u> R-2	<u>PROPOSED</u> R-2
7	LAND USE	<u>EXISTING</u> VACANT	<u>PROPOSED</u> RESIDENTIAL
8	TOTAL PROPOSED UNITS	<u>SINGLE FAMILY</u> 18 UNITS	
9	UTILITY PROVIDERS	<u>SEWER</u> SUSSEX COUNTY	<u>WATER</u> TIDEWATER UTILITIES, INC.
10	STATE STRATEGIES MAP	INVESTMENT LEVEL AREA: 2	
11	POSTED SPEED LIMIT	<u>WHITES NECK ROAD (SCR-347)</u> 35 MPH	
12	FLOODPLAIN	THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANELS 110005C0511K & 10005C0495K, DATED MARCH 16, 2015.	
13	TRANSPORTATION IMPROVEMENT DISTRICT (TID)	THE PROPERTY IS NOT LOCATED IN A TRANSPORTATION IMPROVEMENT DISTRICT (TID). THE PROPERTY IS ADJACENT TO NEAREST TID (ROXANA)	
14	GROUNDWATER RECHARGE	THE PROPERTY DOES NOT CONTAIN ANY AREAS OF EXCELLENT GROUNDWATER RECHARGE BUT IT IS LOCATED IN AN AREA OF GOOD & FAIR GROUNDWATER RECHARGE.	
15	WELLHEAD PROTECTION AREA	THE PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.	
16	WETLANDS	THE PROPERTY IS NOT IMPACTED BY STATE AND/OR FEDERALLY REGULATED WETLANDS.	
17	WATERSHED	HUC 8 - CINCOTEAGUE HUC 10 - INDIAN RIVER BAY	
18	<u>CODE COMPLIANCE</u>	<u>REQUIRED</u>	<u>PROPOSED</u>
	FRONT SETBACK	25 FT	25 FT
	SIDE SETBACK	10 FT	7 FT
	REAR SETBACK	7 FT	10 FT
	LOT AREA	5,000 SF	7,085 SF
	LOT WIDTH	100 FT	100 FT
	LOT FRONTAGE	50 FT	50 FT
	MAXIMUM LOT COVERAGE	55%	<55%
	MAXIMUM BUILDING HEIGHT	42 FT (3 STORIES)	42 FT (3 STORIES)
19	<u>AREAS</u>	<u>EXISTING</u>	
	GROSS SITE AREA	4.989 AC	
	R/W DEDICATION	0.037 AC	
	NET SITE AREA	4.951 AC	
20	<u>PROPOSED LAND USE AREAS</u>		
	OPEN SPACE		
	A	0.395 AC	
	B	0.022 AC	
	C	0.035 AC	
	D	1.025 AC	
	TOTAL	1.477 AC	
	IMPERVIOUS	2.799 AC (56%)	
	PERVIOUS	2.190 AC (44%)	
	TOTAL	4.989 AC (100%)	
21	LIMIT OF DISTURBANCE	<u>OFFSITE</u> 0.495 AC.	<u>ONSITE</u> 4.989 AC <u>TOTAL</u> 5.484 AC.

LOCATION MAP

SCALE: 1" = 400'

SHEET INDEX

PRELIMINARY TITLE	PL-01
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LEGEND

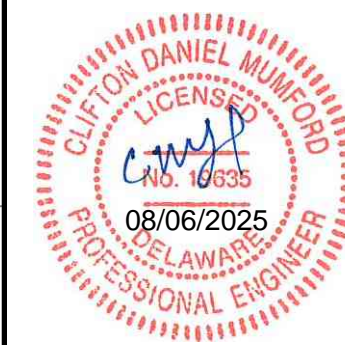
EXISTING	PROPOSED
<u>RIGHT OF WAY</u> EX-R/W	RIGHT-OF-WAY RW
<u>EASEMENT</u> + + + +	EASEMENT PE
<u>ADJACENT PROPERTY LINE</u> ---	SETBACK ---
<u>CONTOUR</u> --- 3.5 ---	SETBACK 33
<u>CATCH BASIN, STORM PIPE</u> [Symbol]	CATCH BASIN, STORM PIPE [Symbol]
<u>SANITARY SEWER MANHOLE, PIPE</u> [Symbol] EX-8SS	SANITARY SEWER IDENTIFICATION, MANHOLE, PIPE, FLOW ARROW, PIPE SIZE [Symbol] 8SS
<u>WATER MAIN</u> EX-10W	SEWER CLEANOUT [Symbol]
<u>FIRE HYDRANT ASSEMBLY</u> [Symbol]	WATER MAIN, TEE W/ VALVES, PIPE SIZE [Symbol] 8W
<u>UTILITY POLE</u> [Symbol]	FIRE HYDRANT ASSEMBLY [Symbol]
<u>SIGN</u> [Symbol]	UTILITY POLE [Symbol]
<u>FENCE</u> X X X	SIGN [Symbol]
<u>TREE</u> [Symbol]	FENCE [Symbol]
<u>TREE LINE</u> [Symbol]	TREE LINE [Symbol]
<u>PAVEMENT</u> [Symbol]	PAVEMENT [Symbol]
<u>SWALE</u> [Symbol]	SIDEWALK [Symbol]
	LIGHTPOLE [Symbol]
	SWALE [Symbol]

MILLROSE
TOWN OF MILLVILLE
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

PRELIMINARY
TITLE

Dwg.No.:

PL-01



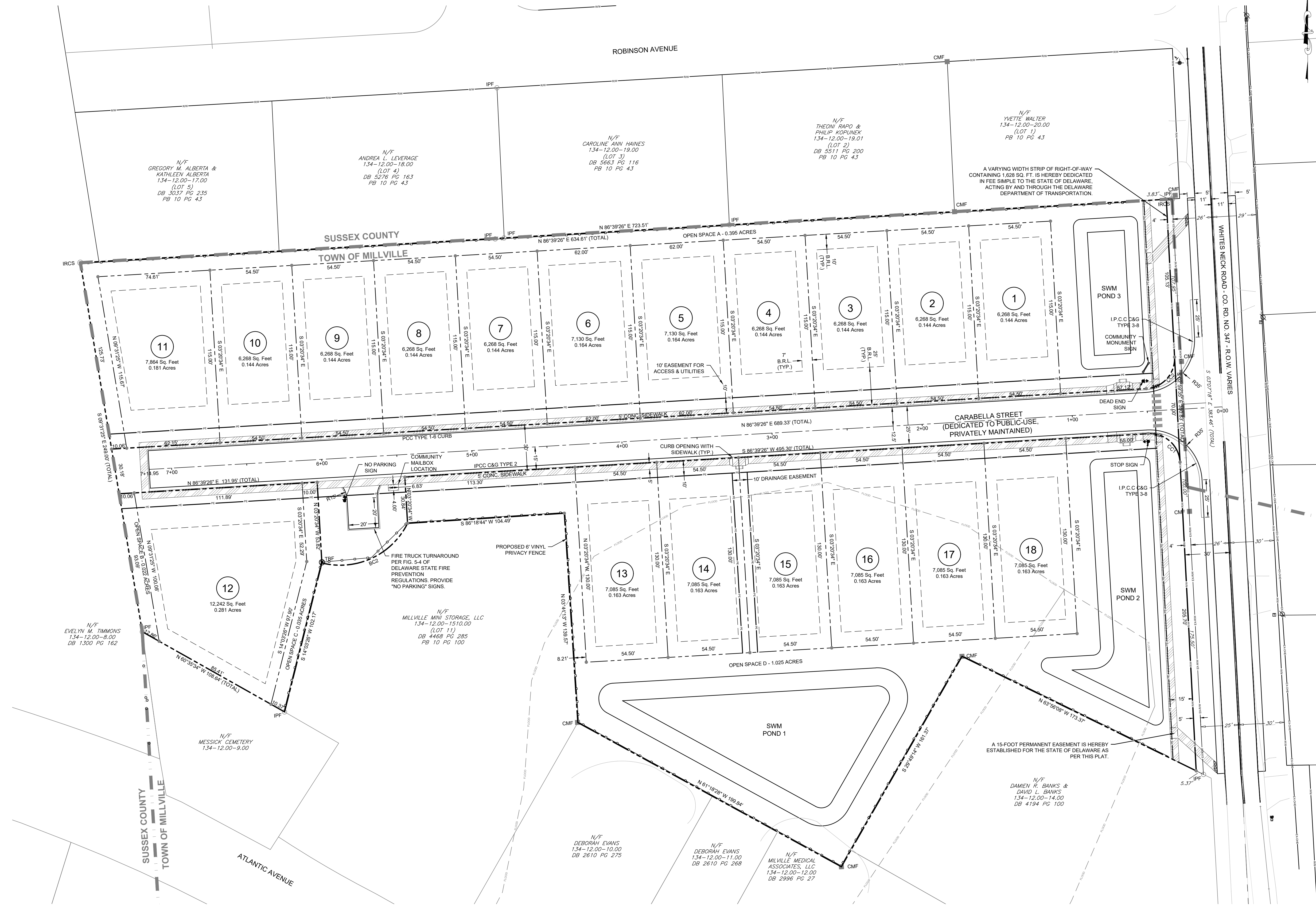
DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS
BALTIMORE, MARYLAND
410.776.7141

**MILLROSE
TOWN OF MILLVILLE
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

Date:	JULY, 2025
Scale:	1" = 30'
Dwn By:	TCB
Proj No.:	3738A005

**PRELIMINARY
SITE PLAN**

Dwg No.:
PL-03



BOUNDARY CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC2	50.00'	67.86'	62.77'	S 65°10'45" W	77°45'48"

RIGHT-OF-WAY CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
CC1	20.00'	31.54'	28.37'	N 48°10'04" W	90°20'59"
CC2	20.00'	31.29'	28.20'	N 41°49'35" E	89°39'01"

- SURVEY LEGEND**
- BOUNDARY POINT
 - ⊗ TBF IRON "T-BAR" FOUND
 - IPF IRON PIPE FOUND
 - ⊙ IRCS IRON ROD WITH CAP SET
 - CMF CONCRETE MONUMENT FOUND





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MILLROSE
TOWN OF MILLVILLE
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	JULY, 2025
Scale:	1" = 30'
Dwn By:	TCB
Proj No.:	3738A005

PRELIMINARY
GRADING &
UTILITY PLAN

Dwg No.:
PL-04

GENERAL
LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF (24) TWENTY-FOUR MONTHS AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF SITE WORK HAS BEEN GIVEN. DURING THE 24 MONTHS, ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. FINAL PLANT LOCATIONS WILL BE BASED ON FIELD CONDITIONS. ANY DEVIATIONS FROM THE PLANS WILL REQUIRE APPROVAL BY THE TOWN AND/OR LANDSCAPE ARCHITECT.
13. TREES SHALL BE PLANTED TO MAINTAIN 5' SEPARATION FROM WATER, SEWER AND STORM PIPES.
14. TREES THAT ARE PLANTED SHALL BE GUARANTEED FOR TWO YEARS.

LANDSCAPE PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	AR	EVERGREEN SHRUB			
	AT	Azalea 'TRADITION'	TRADITION AZALEA	18-24", Cont.	33
	TD	Taxus x media 'DENSIFORMIS'	DENSE YEW	2-3' HL, B&B	33

INTERIOR LANDSCAPE SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREE					
	AR	ACER rubrum 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2"- 2 1/2" CAL., B&B	14
	JV	JUNIPERUS virginiana	EASTERN RED CEDAR	7-8' HT., B&B	21
	TC	TILIA cordata	LITTLELEAF LINDEN	1 1/4"-1 1/2" CAL., 8'-10' HT., B&B	13



MILLROSE
TOWN OF MILLVILLE
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

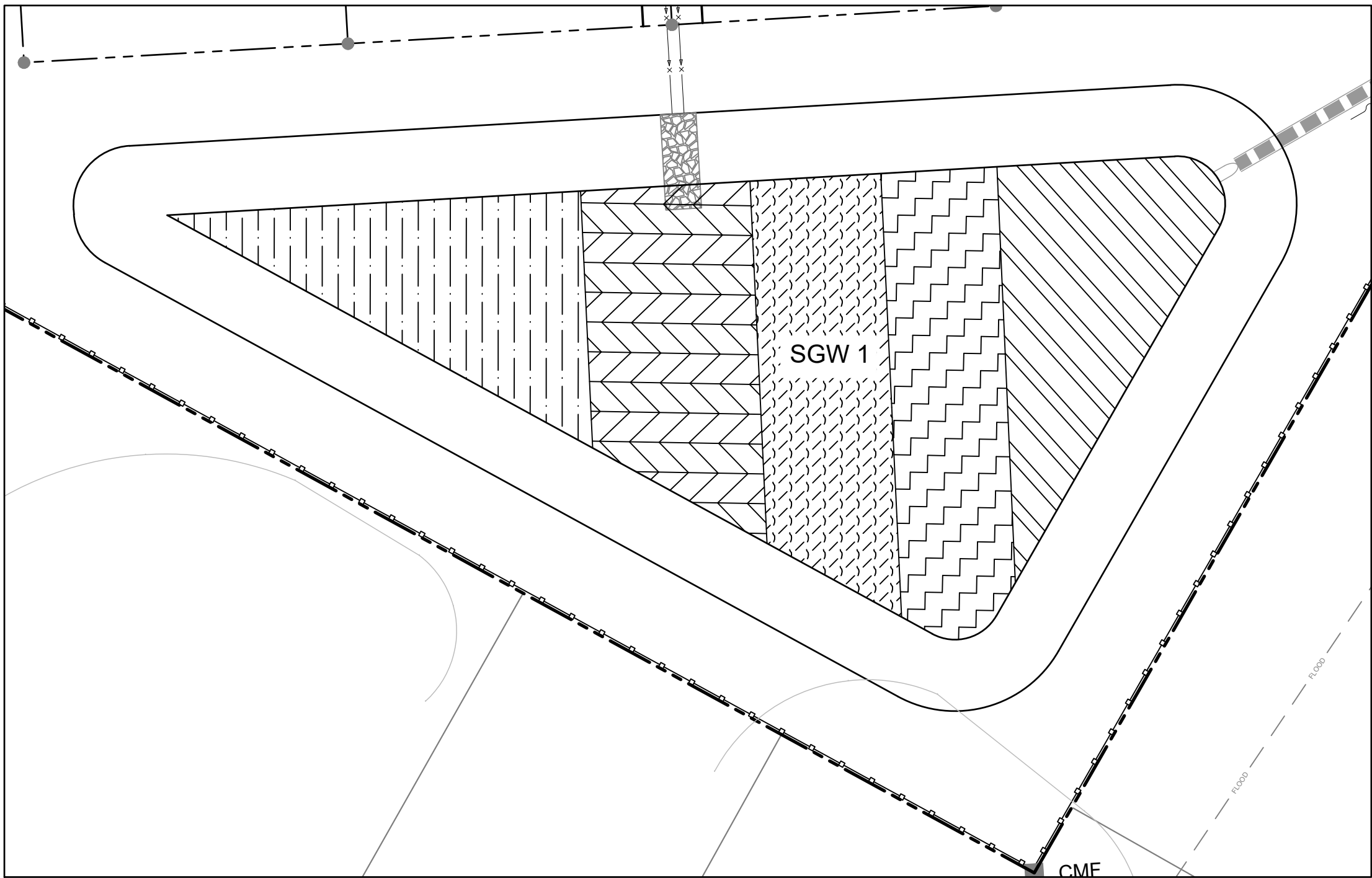
PRELIMINARY
LANDSCAPE
PLAN

Dwg No.:
PL-05

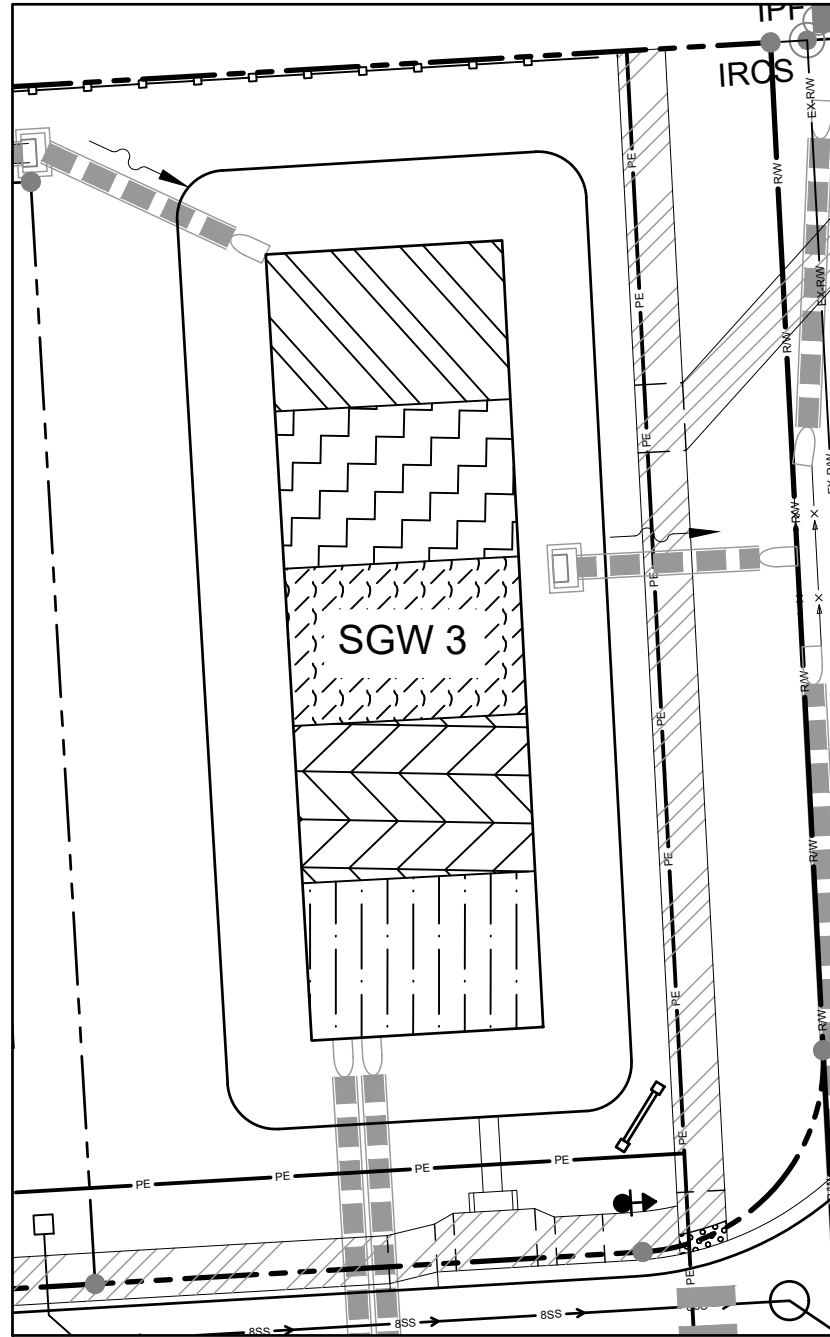
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Proj No.: 3738A005



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SUBMERGED GRAVEL WETLANDS 1
SCALE: 1"=20'



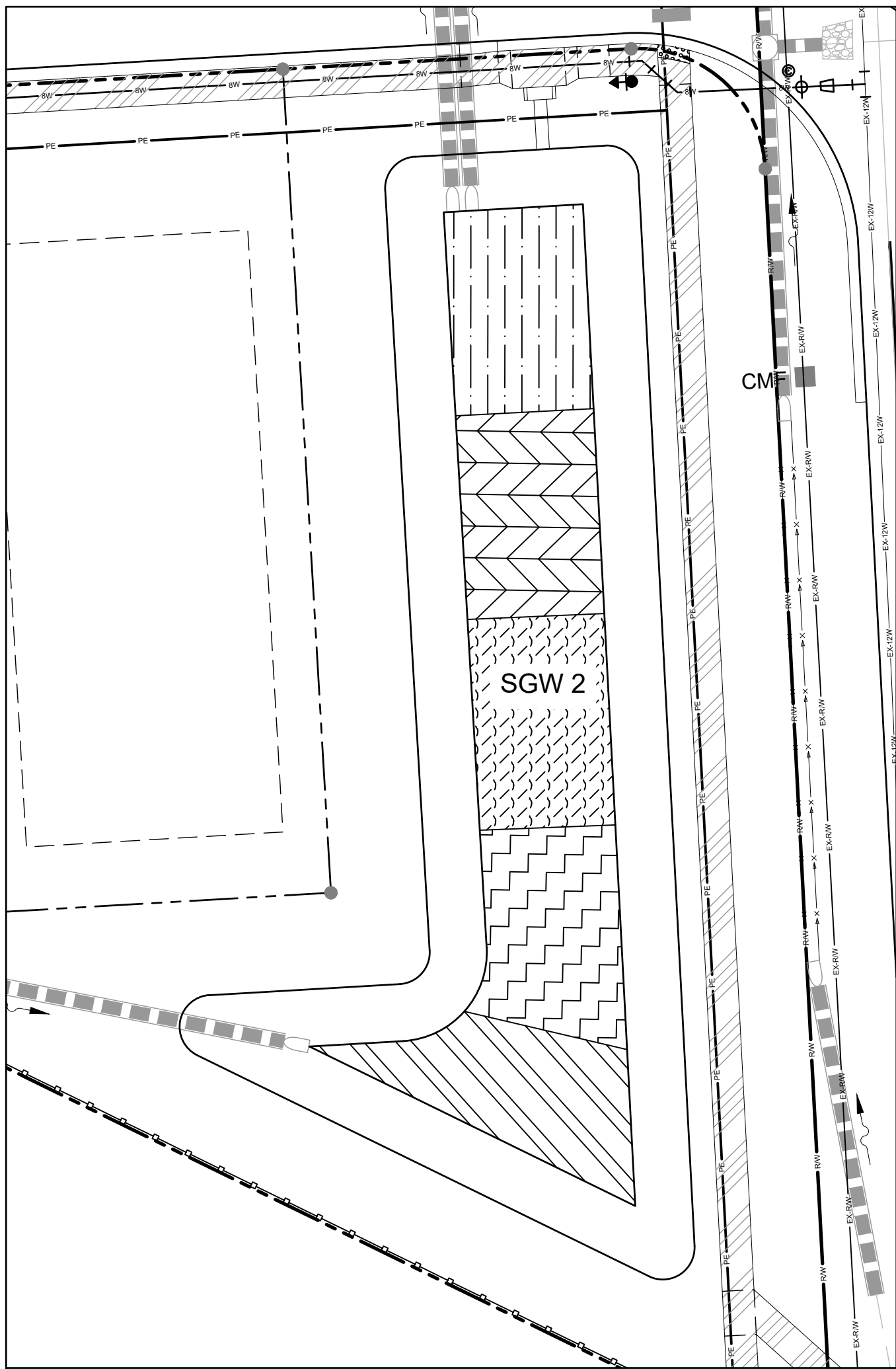
SUBMERGED GRAVEL WETLANDS 3
SCALE: 1"=20'

GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF ALL SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
6. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
7. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
8. CONTRACTOR SHALL FERTILIZE PLANTS WITH SLOW-RELEASE GRANULAR FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED IN SOIL REPORTS FROM A QUALIFIED SOIL-TESTING AGENCY HIRED BY THE CONTRACTOR.
9. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED.
10. THE HOME OWNERS ASSOCIATION SHALL MAINTAIN AND REPLACE ANY DEAD OR DYING VEGETATION IN THE WETLAND FOR THE FIRST 10 YEARS OF ESTABLISHMENT.

GENERAL OPERATION AND MAINTENANCE NOTES

1. PROJECT CLOSEOUT SHALL NOT OCCUR UNTIL A MINIMUM OF 70% OF THE WETLAND AREA IS PERMANENTLY VEGETATED.
2. BEFORE PROJECT COMPLETION THE OWNER SHALL SUBMIT A FINAL POST CONSTRUCTION STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN FOR THE ENTIRE STORMWATER MANAGEMENT SYSTEM.
3. THE SUSSEX CONSERVATION DISTRICT (SCD) RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEW.
4. SCD MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
5. DURING THE FIRST TWO YEARS FOLLOWING CONSTRUCTION, THE CONSTRUCTED WETLAND SHALL BE REVIEWED TWICE EACH YEAR BY A QUALIFIED PROFESSIONAL WITH DEMONSTRATED KNOWLEDGE OF WETLAND SPECIES. ONCE IN THE SPRING AND ONCE IN THE FALL AFTER A STORM EVENT THAT EXCEEDS ONE-HALF INCH OF RAINFALL. THE OPERATION AND MAINTENANCE PLAN SHALL OUTLINE A DETAILED SCHEDULE FOR THE MONITORING AND POSSIBLE REINSTALLATION OF VEGETATION IN THE WETLAND AND ITS BUFFER FOR THE FIRST TWO YEARS OF ESTABLISHMENT.
6. SEDIMENT REMOVAL IN THE PRETREATMENT FOREBAY SHALL OCCUR WHEN 50% OF TOTAL FOREBAY CAPACITY HAS BEEN LOST. THE DISPOSAL AREA SHOULD BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZE OR DISPOSED OF IN AN APPROVED SCD MANNER.
7. WATER EASEMENT AREAS (I.E., ACCESS MAINTENANCE OR OFFSITE) AND MINIMUM 10-FOOT ACCESSWAYS TO STORMWATER FACILITIES AND ALL OF THEIR STRUCTURAL COMPONENTS. REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OF LESS; NO TREES OR SHRUBS SHALL BE PLANTED, AND ANY FOUND GROWING WITHIN 15 OF FACILITY EMBANKMENTS SHALL BE REMOVED; AND NO PERMANENT STRUCTURES SUCH AS FENCES OR SHEDS SHALL BE LOCATED WITHIN THE EASEMENT OR ACCESSWAY.
8. VEGETATION MANAGEMENT: THINNING OR HARVESTING OF EXCESS FOREST GROWTH WILL BE NEEDED PERIODICALLY TO GUIDE THE FOREST WETLAND INTO A MORE MATURE STATE AND PREVENT IT FROM BECOMING OVERGROWN. THINNING HARVESTING OPERATIONS SHOULD BE SCHEDULED TO OCCUR APPROXIMATELY 5 AND 10 YEARS AFTER INITIAL WETLAND CONSTRUCTION. REMOVAL OF WOODY SPECIES ON OR NEAR THE EMBANKMENT, STRUCTURAL COMPONENTS SUCH AS INFLOW AND OUTFLOW PIPES, AND MAINTENANCE ACCESS AREAS SHOULD BE CONDUCTED EVERY 2 YEARS.
9. IF BARE SOIL EXISTS ON FACILITY SIDE SLOPES OR EMBANKMENT, RESEED AND/OR REPLANT AS REQUIRED BASED UPON INSPECTION FINDINGS. STABILIZE APPLICABLE ERODED AREAS WITH REINFORCING EROSION CONTROL PRODUCTS (RECP) OR TURF REINFORCING MATS (TRM), AS REQUIRED. IF RECP IS APPLIED, IT IS RECOMMENDED TO USE TRULY BIODEGRADABLE PRODUCTS TO AID IN MOWING MAINTENANCE AND DETER WILDLIFE ENTANGLEMENT. THESE PRODUCTS CAN BE RECOGNIZED AS HAVING "BN" FOR BIONETTING OR "B" FOR BIODEGRADABLE.
10. SCD SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
11. SCD SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
12. THE DEPARTMENT OR DELEGATED AGENCY SHALL BE NOTIFIED BEFORE A CONSTRUCTED WETLAND IS DRAINED.
13. REPAIR OF CRITICAL STRUCTURAL FEATURES SUCH AS EMBANKMENTS AND RISERS SHALL BE PERFORMED BY RESPONSIBLE PERSONNEL THAT HAVE SUCCESSFULLY COMPLETED THE DEPARTMENT CONTRACTOR TRAINING PROGRAM.
14. OPERATION AND MAINTENANCE PLANS REMAIN VALID FOR THE LIFE OF THE STORMWATER MANAGEMENT SYSTEM.
15. ANY DESIGNED MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATION AND MAINTENANCE PLAN WITH APPROVAL OF THE PLAN(S) BY SCD.
16. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.



SUBMERGED GRAVEL WETLANDS 2
SCALE: 1"=20'

SUBMERGED GRAVEL WETLAND 1 PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	AA	ACORUS americanus	SWEET FLAG	2" PLUG, 18" O.C.	666
	CC	CALAMAGROSTIS canadensis	BLUEJOINT GRASS	2" PLUG, 18" O.C.	655
	CS	CAREX stricta	TUSSOCK SEDGE	2" PLUG, 18" O.C.	656
	MR	MIMULUS ringens	MONKEY FLOWER	2" PLUG, 18" O.C.	653
	SA	SCIRPUS atrovirens	GREEN BULRUSH	2" PLUG, 18" O.C.	661

SUBMERGED GRAVEL WETLAND 2 PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	AA	ACORUS americanus	SWEET FLAG	2" PLUG, 18" O.C.	318
	CC	CALAMAGROSTIS canadensis	BLUEJOINT GRASS	2" PLUG, 18" O.C.	311
	CS	CAREX stricta	TUSSOCK SEDGE	2" PLUG, 18" O.C.	315
	MR	MIMULUS ringens	MONKEY FLOWER	2" PLUG, 18" O.C.	307
	SA	SCIRPUS atrovirens	GREEN BULRUSH	2" PLUG, 18" O.C.	310

SUBMERGED GRAVEL WETLAND 3 PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	AA	ACORUS americanus	SWEET FLAG	2" PLUG, 18" O.C.	178
	CC	CALAMAGROSTIS canadensis	BLUEJOINT GRASS	2" PLUG, 18" O.C.	177
	CS	CAREX stricta	TUSSOCK SEDGE	2" PLUG, 18" O.C.	176
	MR	MIMULUS ringens	MONKEY FLOWER	2" PLUG, 18" O.C.	175
	SA	SCIRPUS atrovirens	GREEN BULRUSH	2" PLUG, 18" O.C.	174

OPERATION AND MAINTENANCE PLAN: SUBMERGED GRAVEL WETLAND	
FREQUENCY	MAINTENANCE ITEMS
DURING ESTABLISHMENT (FIRST TWO YEARS), OR AS NEEDED	<ul style="list-style-type: none">- THE FACILITY MUST BE REVIEWED BY A QUALIFIED DESIGN PROFESSIONAL WITH DEMONSTRATED KNOWLEDGE OF THE WETLAND SPECIES. ONCE IN THE SPRING AND ONCE IN THE FALL AFTER A STORM EVENT THAT EXCEEDS 0.5 INCHES.- INSPECT THE SITE AFTER ANY STORM EVENT THAT EXCEEDS 1.0 INCHES OF RAINFALL- STABILIZE ANY BARE OR ERODING AREAS IN THE CONTRIBUTING DRAINAGE AREA INCLUDING THE WETLAND PERIMETER AREA- WATER TREES AND SHRUBS PLANTED IN THE WETLAND VEGETATED PERIMETER AREA DURING THE FIRST GROWING SEASON. IN GENERAL WATER EVERY 3 DAYS FOR THE FIRST MONTH, AND THEN WEEKLY DURING THE REMAINDER OF THE FIRST GROWING SEASON (APRIL-OCTOBER), DEPENDING ON RAINFALL.
QUARTERLY OR AFTER MAJOR STORMS (> 1INCH OF RAINFALL)	<ul style="list-style-type: none">- REMOVE DEBRIS AND BLOCKAGES- REPAIR UNDERCUT, ERODED, AND BARE SOIL AREAS
TWICE A YEAR	<ul style="list-style-type: none">- MOWING OF THE WETLANDS VEGETATED PERIMETER AREA AND EMBANKMENT (SPRING AND FALL)
ANNUALLY	<ul style="list-style-type: none">- SHORELINE CLEANUP TO REMOVE TRASH AND DEBRIS.- A FULL MAINTENANCE REVIEW- REPAIR BROKEN MECHANICAL COMPONENTS, IF NEEDED
ONE TIME – DURING THE SECOND YEAR FOLLOWING CONSTRUCTION	<ul style="list-style-type: none">- INSTALL WETLAND VEGETATE PERIMETER REINFORCEMENT PLANTINGS OR IN FAILED AREAS- REPLACE DEAD OR DYING PLANTS PER LANDSCAPE PLAN
EVERY 2 YEARS	<ul style="list-style-type: none">- REMOVAL OF WOODY SPECIES ON OR NEAR EMBANKMENT, STRUCTURAL COMPONENTS SUCH AS INFLOW/OUTFLOW PIPES AND MAINTENANCE ACCESS AREAS.- REMOVAL OF INVASIVE SPECIES



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MILLROSE
TOWN OF MILLVILLE
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date: JULY, 2025
Scale: 1" = 20'
Dwn By: TCB
Proj No.: 3738A005

PRELIMINARY
POND
LANDSCAPE
PLAN

Dwg No.:
PL-06