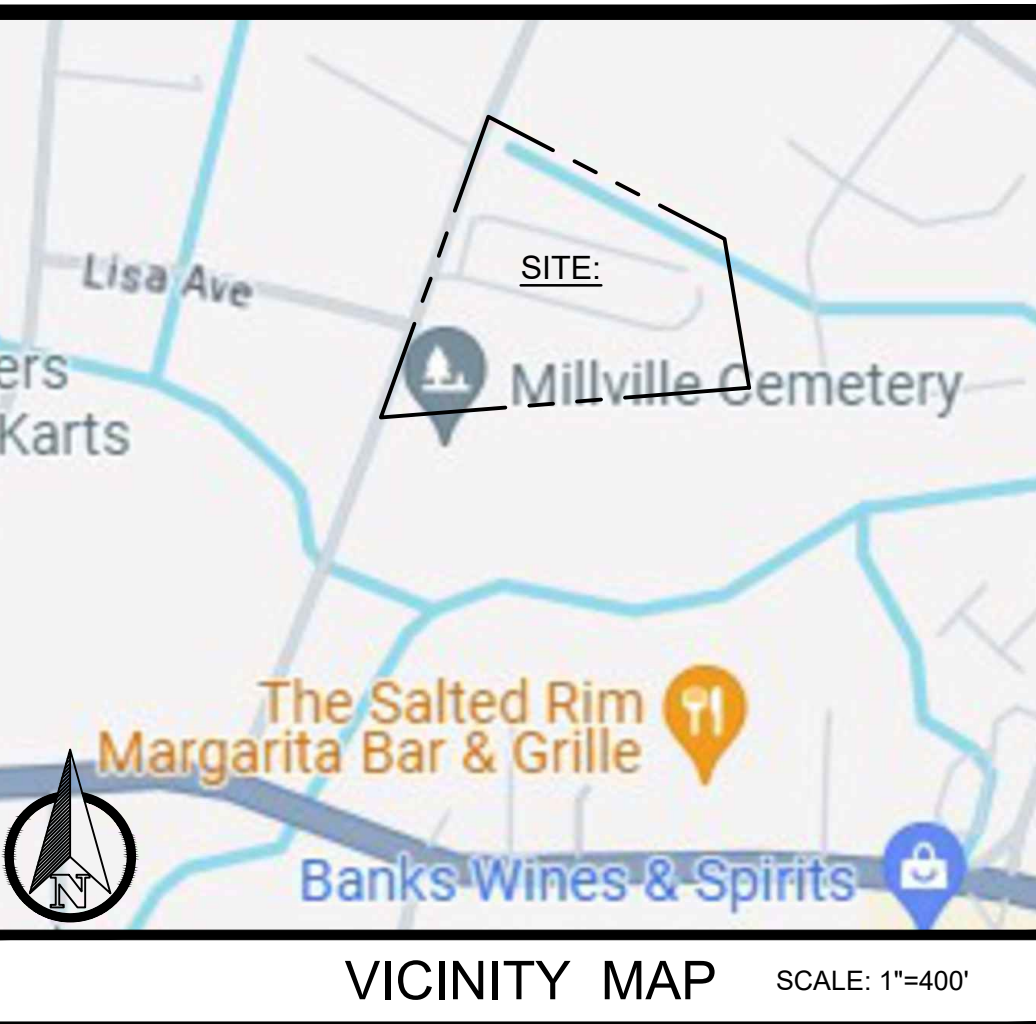
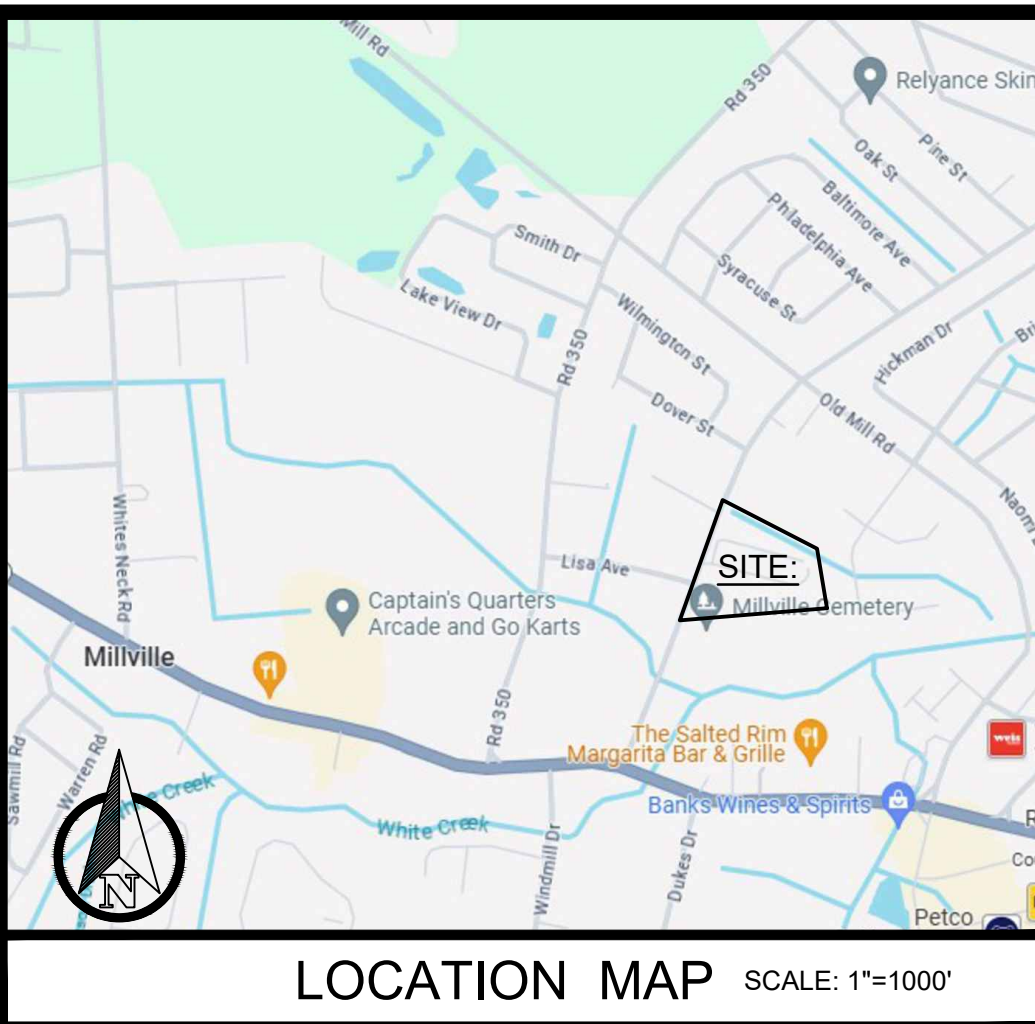
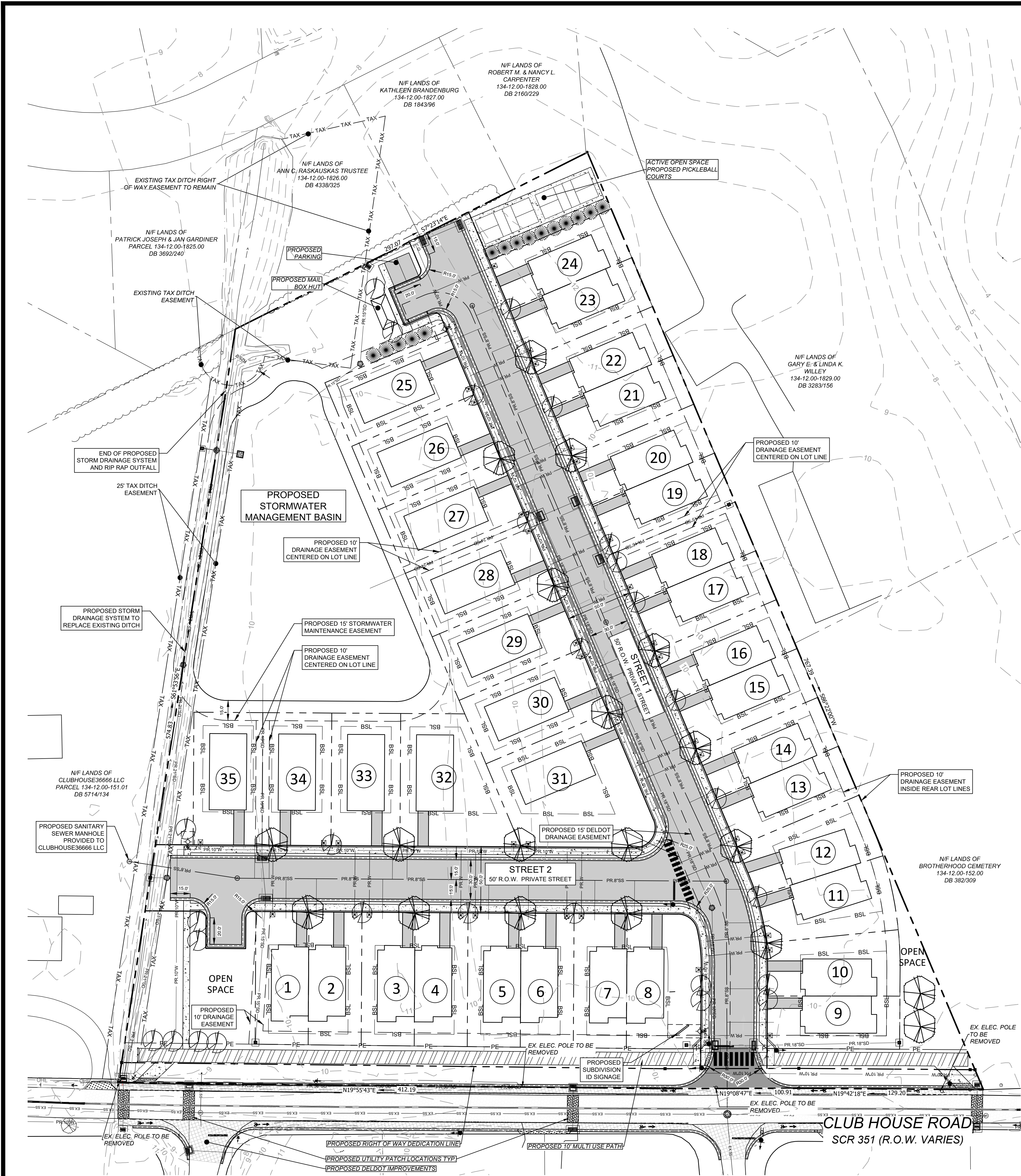




SHEET INDEX:

C100 - PRELIMINARY SITE PLAN
C101 - EXISTING CONDITIONS
C102 - GRADING

EXISTING CONDITIONS LEGEND

---	PARCEL BOUNDARY
---	RIGHT OF WAY
---	ADJOINING PROPERTY LINES
---	EXISTING TAX DITCH ROW
---	EXISTING 1 FOOT CONTOUR
---	EXISTING 5 FOOT CONTOUR
---	EXISTING CENTERLINE OF DITCH
---	EXISTING TOP OF BANK
---	EXISTING STORM CULVERT
---	EXISTING SANITARY SEWER PIPE
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING TREELINE
---	EXISTING UTILITY POLE
---	EXISTING GUY WIRE
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING MAIL BOX
---	EXISTING SANITARY SEWER MH
---	EXISTING WELL
---	IRON ROD FOUND
---	IRON PIN FOUND

PROPOSED CONDITIONS LEGEND

---	PROPOSED LOT LINES
---	PROPOSED RIGHT OF WAY
---	PROPOSED BUILDING SETBACK LINE
---	PROPOSED TAX DITCH ROW
---	PROPOSED PERMANENT EASEMENT
---	PROPOSED CURB
---	PROPOSED SIGN
---	PROPOSED CONCRETE MONUMENT
---	PROPOSED WATERLINE
---	PROPOSED SANITARY SEWER PIPE
---	PROPOSED HYDRANT ASSEMBLY
---	PROPOSED CONCRETE
---	PROPOSED SHARED USE PATH
---	PROPOSED STANDARD PAVEMENT
---	PROPOSED ENTRANCE PAVEMENT
---	PROPOSED MILL & OVERLAY
---	PROPOSED FULL DEPTH WIDENING
---	PROPOSED DRIVEWAY RESTORATION

LANDSCAPE KEY (SEE GENERAL NOTE 6)

---	PROPOSED CANOPY TREE
---	PROPOSED FLOWERING/ UNDERSTORY TREE
---	PROPOSED EVERGREEN TREE

PLAN DATA:

OWNER:	CLUB HOUSE CROSSING LLC 34910 DELAWARE AVENUE FRANKFORD, DE 19945 CONTACT: TRAVIS MARTIN 443-880-8330 tmartin@ccrops.com
TAX MAP NO.:	134-12-00-151-00
SITE AREA:	±6.95 ac. (±299,590 SQ.FT.)
MUNICIPALITY:	TOWN OF MILLVILLE
CURRENT ZONING:	R2 RESIDENTIAL
PRESENT LAND USE:	CHICKEN FARM
WETLANDS AREA:	NONE
SEWER:	SUSSEX COUNTY
WATER:	TIDEWATER UTILITIES

PROPOSED AREA BREAKDOWN:

R/W DEDICATION:	9721 SQ. FT.	0.22 AC.	3.24%
RIGHT-OF-WAY:	55749 SQ. FT.	1.28 AC.	18.61%
LOT AREA:	162,016 SQ. FT.	3.72 AC.	54.08%
OPEN SPACE:	72,102 SQ. FT.	1.66 AC.	24.07%
TOTAL:	299,590 SQ. FT.	6.88 AC.	100.00%

NOTE: LOTS 1-24 TO BE DUPLEX LOTS AND LOTS 25-35 TO BE SINGLE-FAMILY LOTS.

BUILDING RESTRICTION LINE (B.S.L.) FOR SINGLE FAMILY LOTS:

- A. FRONT= 25'
- B. SIDES= 7'
- C. REAR= 10'

BUILDING RESTRICTION LINE (B.S.L.) FOR DUPLEX LOTS:

- A. FRONT= 25'
- B. SIDES= 10'
- C. REAR= 10'

MIN. LOT SIZE 50'X100'
MAXIMUM BUILDING HEIGHT: 42 FT

MIN. LOT SIZE 40'X100'
MAXIMUM BUILDING HEIGHT: 42 FT

MAXIMUM 6.0 UNITS PER ACRE ALLOWED
MAX UNITS ALLOWED = 6 X 6.88 = 41 UNITS
UNITS PROPOSED = 35 UNITS

- GENERAL NOTES:**
- BOUNDARY SOURCE: PLITKO LLC. HORIZONTAL DATUM DE STATE PLANE NAD '83, VERTICAL DATUM NAVD '88.
 - THERE ARE NO FEDERAL OR STATE REGULATED WETLANDS ON SITE.
 - SITE IS IN FLOOD ZONE X (UNSHADED) AS SHOWN PER FEMA MAP #10005C0511K, DATED MARCH 16, 2015.
 - THIS PARCEL WAS ANNEXED INTO THE TOWN OF MILLVILLE WITH A ZONING OF R2 RESIDENTIAL PER ORDINANCE 26-02 WHICH WAS APPROVED BY THE MILLVILLE TOWN COUNCIL ON OCTOBER 14, 2025.
 - WATER SERVICE PROVIDED BY TIDEWATER UTILITIES. WATER CONNECTION WILL BE AT THE INTERSECTION OF CLUB HOUSE AND OLD MILL ROADS, APPROXIMATELY 750 L.F. NORTH OF PROPERTY.
 - LANDSCAPE TREES SHOWN ARE CONCEPTUAL, AND MAY NEED TO BE RESIZED/ RELOCATED DURING PROJECT DEVELOPMENT. PLANTINGS AROUND PROPOSED STORMWATER MANAGEMENT BASIN TO BE PER SUSSEX CONSERVATION DISTRICT STANDARDS AND REQUIREMENTS.
 - PARKING REQUIREMENT IS TWO SPACES PER DWELLING UNIT. PARKING REQUIREMENT TO BE SATISFIED BY SINGLE-CAR GARAGE PER EACH UNIT AND ONE DRIVEWAY PARKING SPACE PER UNIT.

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM A LEGAL REPRESENTATIVE OF THE OWNER AND PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE IN MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

Travis Martin
OWNERS NAME
10/17/25
DATE

ENGINEER CERTIFICATION

I, ROB PLITKO, HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

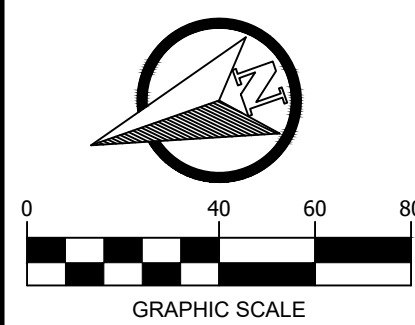
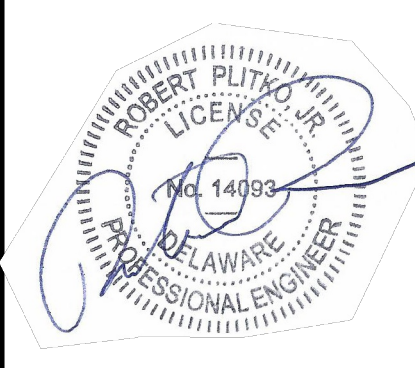
Rob Plitko
ROB PLITKO P.E. LIC. NO. 14093
10/17/25
DATE

PRELIMINARY SITE PLAN

REVISIONS

PLITKO ENGINEERING
ENGINEER - SURVEY - HYDROGRAPHIC
53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919

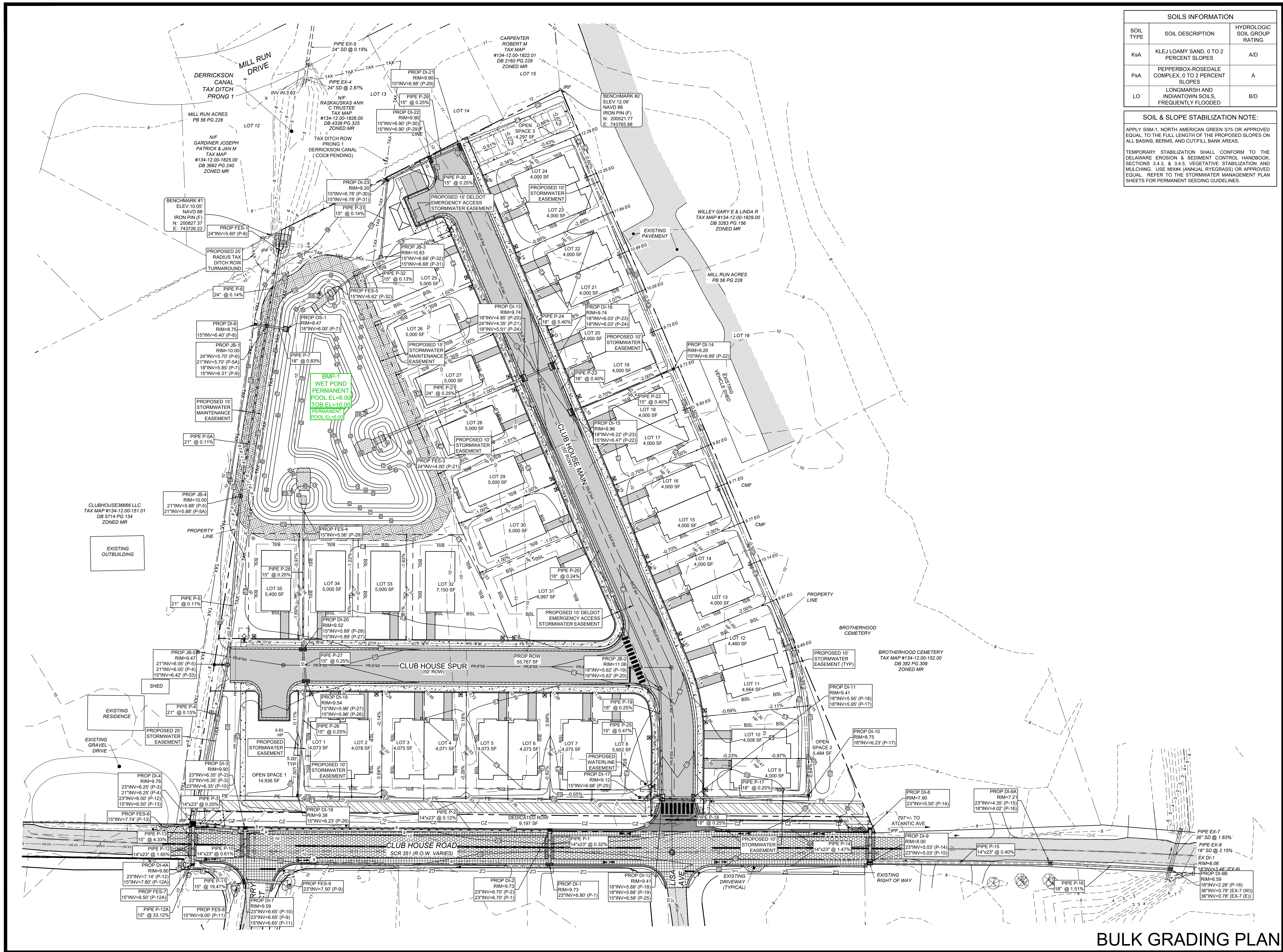
PRELIMINARY SITE PLAN
CLUB HOUSE CROSSING
CLUB HOUSE ROAD
TOWN OF MILLVILLE SUSSEX COUNTY DELAWARE



PROJECT DATUM
HORIZONTAL: DE NAD 1983
VERTICAL: NAVD 1988

SITE PLAN: WLK	DATE
DRAWING: WLK	12/02/25
REVIEW: RP	
SHEET	

C100



BULK GRADING PLAN

SOILS INFORMATION		
SOIL TYPE	SOIL DESCRIPTION	HYDROLOGIC SOIL GROUP RATING
KsA	KLEJ LOAMY SAND, 0 TO 2 PERCENT SLOPES	A/D
PsA	PEPPERBOX-ROSEDALE COMPLEX, 0 TO 2 PERCENT SLOPES	A
LO	LONGMARSH AND INDIANTOWN SOILS, FREQUENTLY FLOODED	B/D

SOIL & SLOPE STABILIZATION NOTE:

APPLY SSM-1, NORTH AMERICAN GREEN S75 OR APPROVED EQUAL, TO THE FULL LENGTH OF THE PROPOSED SLOPES ON ALL BASINS, BERMS, AND CUT/FILL BANK AREAS.

TEMPORARY STABILIZATION SHALL CONFORM TO THE DELAWARE EROSION & SEDIMENT CONTROL HANDBOOK, SECTIONS 3.4.3. & 3.4.5, VEGETATIVE STABILIZATION AND MULCHING. USE MIX44 (ANNUAL RYEGRASS) OR APPROVED EQUAL. REFER TO THE STORMWATER MANAGEMENT PLAN SHEETS FOR PERMANENT SEEDING GUIDELINES.

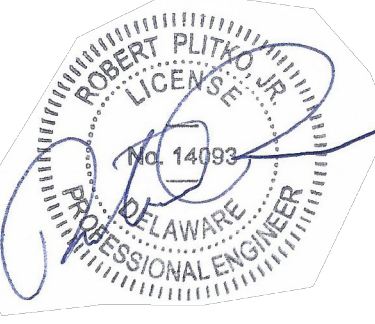
REVISIONS	
7-24-25 1st SCD Review	
10-6-25 2nd SCD Review	

PLITKO
ENGINEERING

ENGINEER - SURVEY - HYDROGRAPHIC

53 ATLANTIC AVE, STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919

SEDIMENT AND STORMWATER
MANAGEMENT PLANS
CLUB HOUSE CROSSING
CLUB HOUSE ROAD
BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE



GRAPHIC SCALE
1 inch = 40 feet

PROJECT DATUM
HORIZONTAL: DE NAD 1983
VERTICAL: NAVD 1988

SITE PLAN:	DATE
DRAWING:	11/9/25
REVIEW: RP	
SHEET	