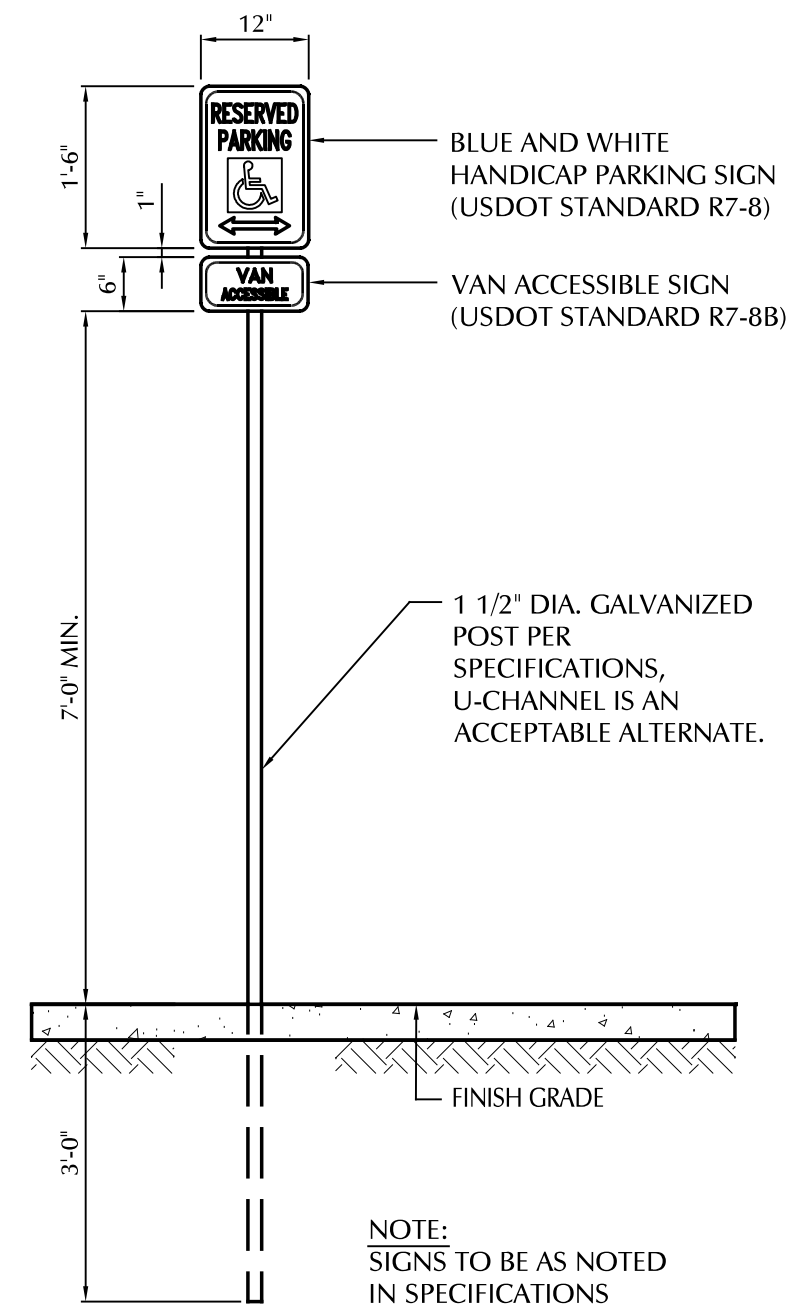
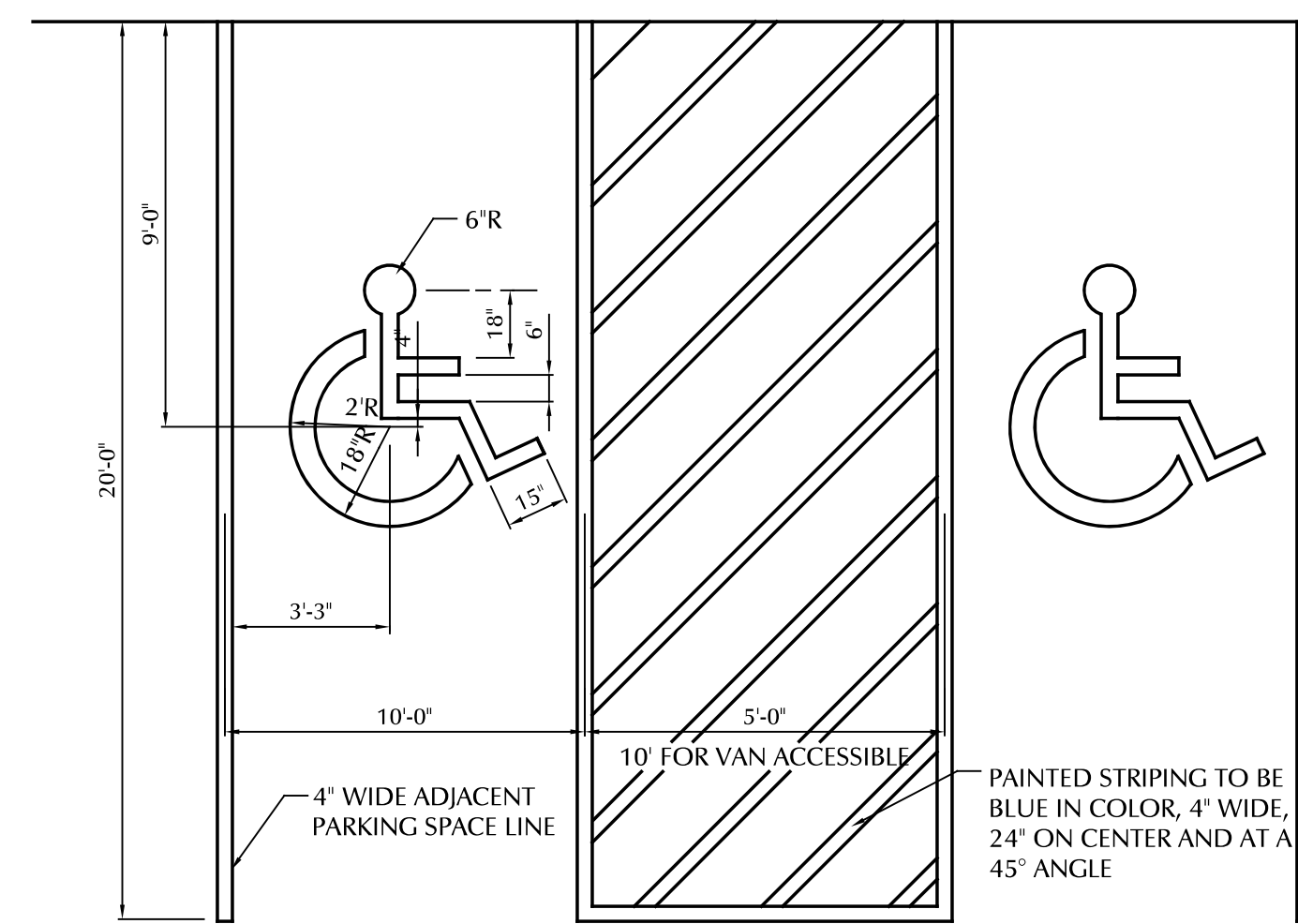


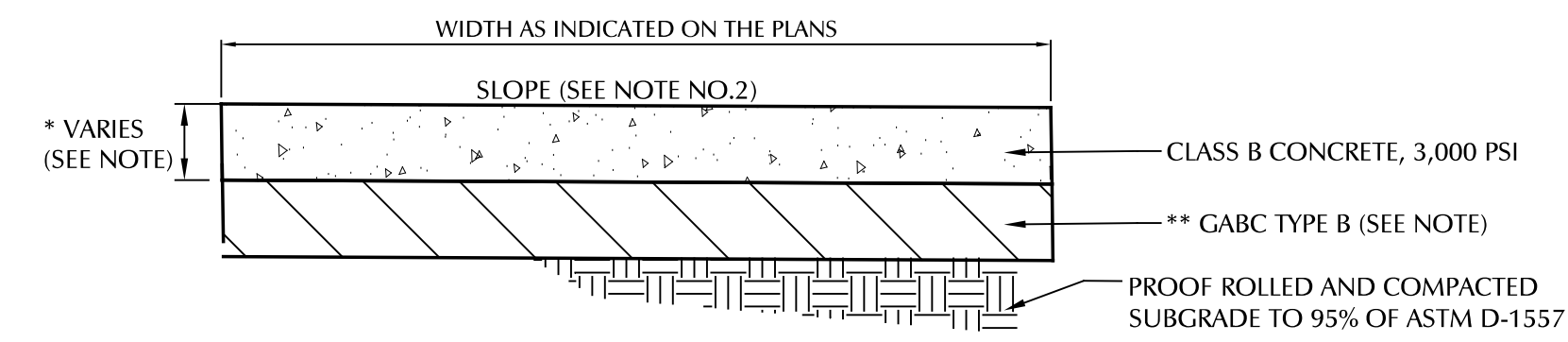
SIGN DETAIL
NOT TO SCALE



PARKING SIGN DETAIL
NOT TO SCALE



HANDICAP PARKING DETAIL
NOT TO SCALE



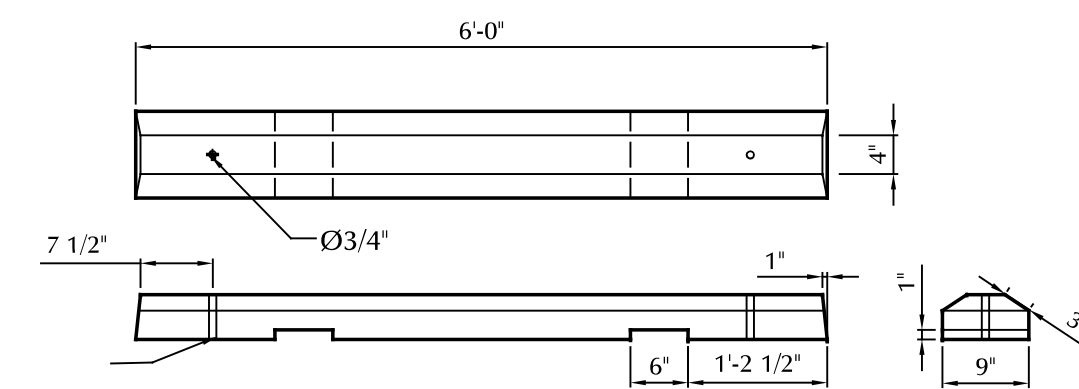
*STANDARD SIDEWALK SHALL BE 5\"/>

**STANDARD SIDEWALK OF 5\"/>

NOTES:
1. MARK IN 5\"/>

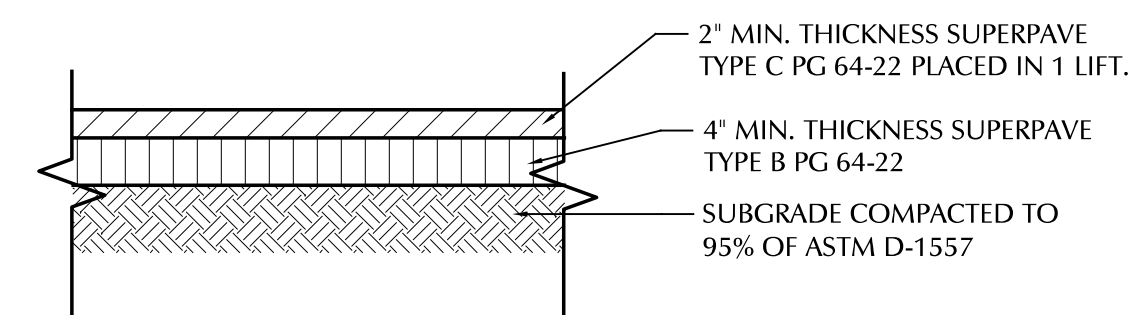
2. SIDEWALK TO BE CONSTRUCTED AT GRADE. SLOPE OF SIDEWALK SHALL PROVIDE POSITIVE DRAINAGE WITH A 2% MAX/1% MIN. CROSS SLOPE.

SIDEWALK DETAIL
NOT TO SCALE

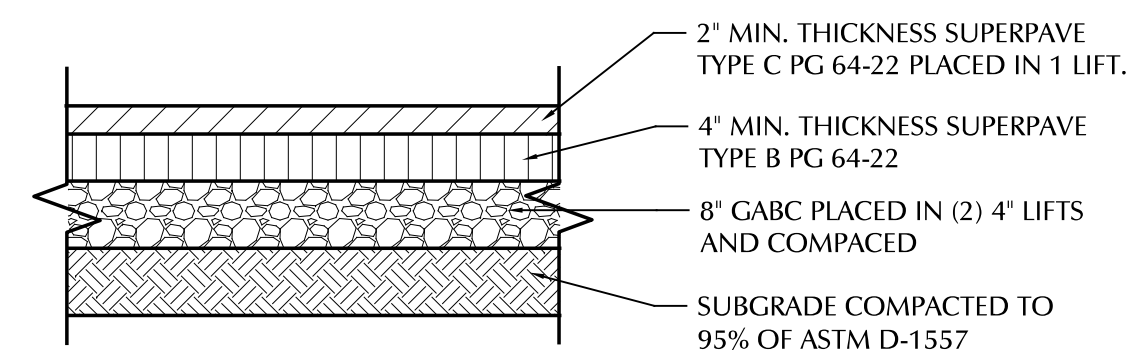


ANCHOR CAR STOP IN PLACE WITH 2-# 5 REBAR (2'4\"/>

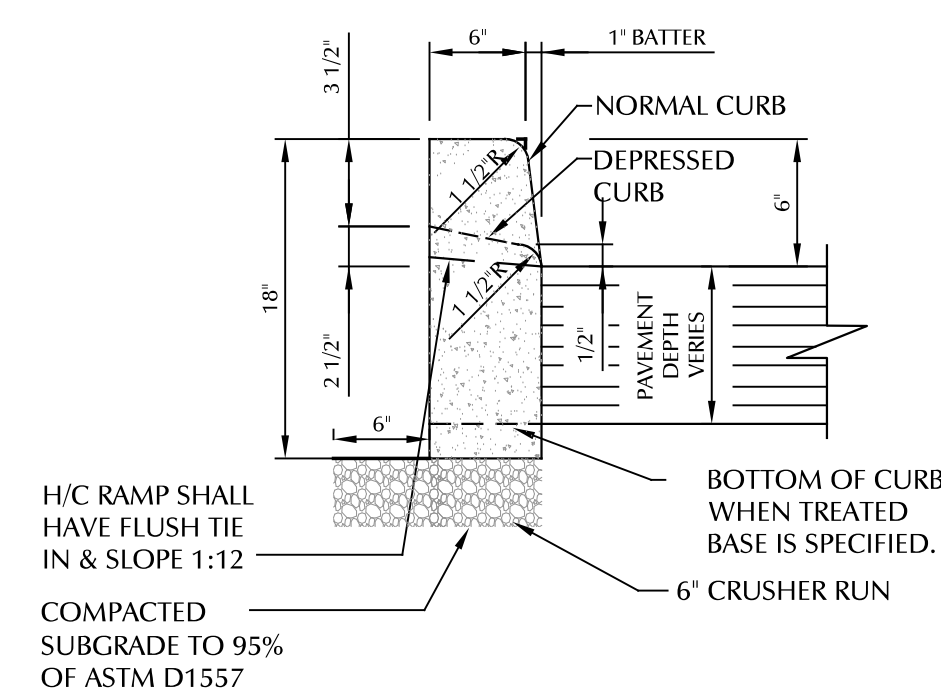
CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



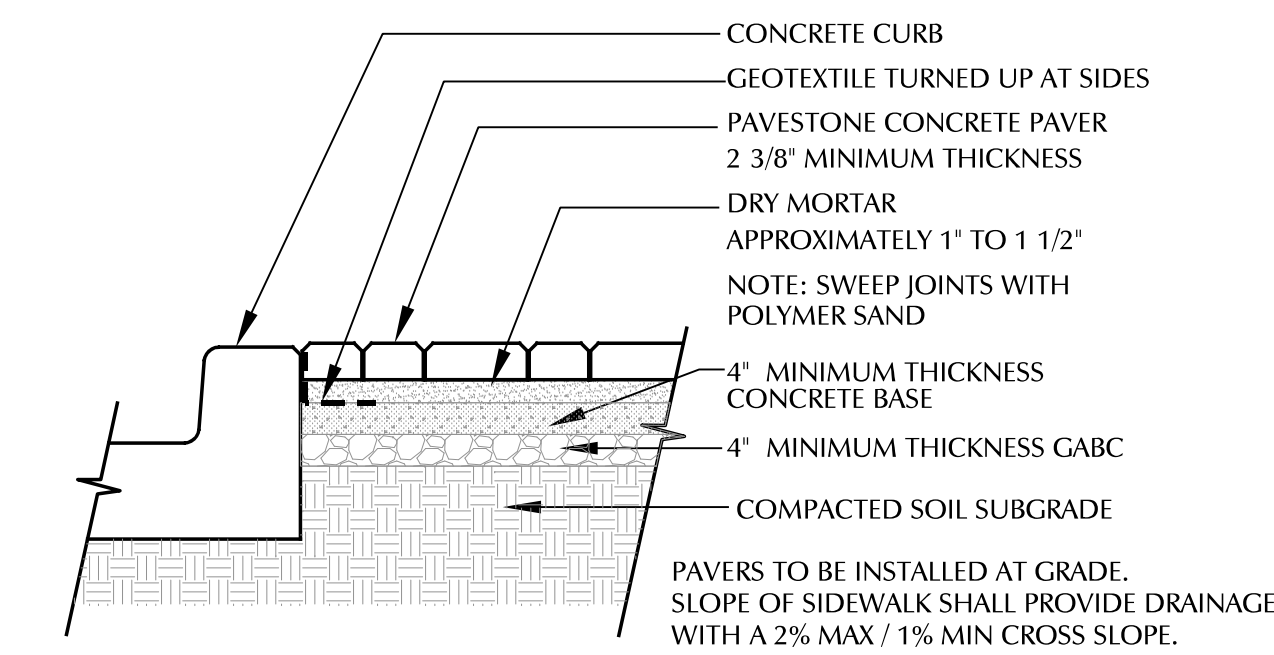
ON SITE LIGHT DUTY PAVEMENT SECTION (PARKING AREA)
NOT TO SCALE



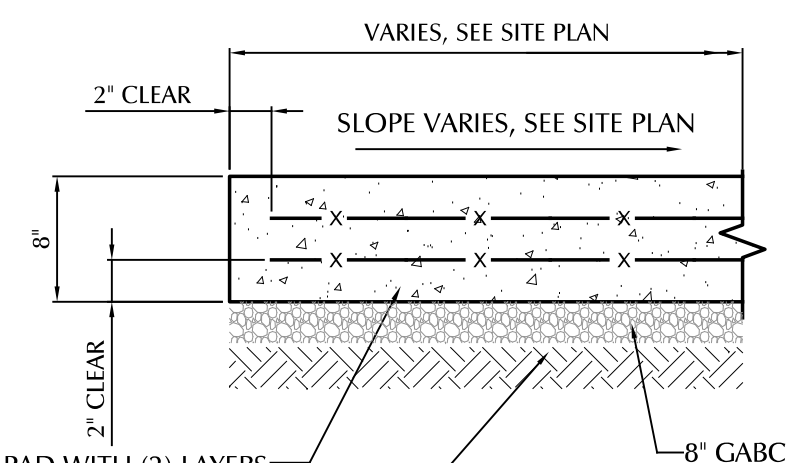
ON SITE HEAVY PAVING SECTION
NOT TO SCALE



VERTICAL CURB DETAIL
NOT TO SCALE



PAVER ON CONCRETE BASE
NOT TO SCALE



NOTES:
1. ALL CONCRETE USED FOR DUMPSTER PADS SHALL BE 4,000PSI PORTLAND CEMENT CONCRETE.
2. TOOLED CONTRACTION JOINTS ARE TO BE PLACED 10.0' MAX BOTH DIRECTIONS, OR AS DIRECTED.
3. CONSTRUCTION JOINTS ARE TO BE PLACED 20.0' MAX BOTH DIRECTIONS, OR AS DIRECTED.
4. WHEN PLACED ADJACENT TO EXISTING CONCRETE PAVEMENT, NEW OR EXISTING FOUNDATION WALL, CONCRETE CURB, CONCRETE GUTTER OR OTHER STRUCTURE, INSTALL APPROVED EXPANSION JOINT. ADDITIONAL EXPANSION JOINTS ARE TO BE PLACED AS DIRECTED.

CONCRETE DUMPSTER PAD
NOT TO SCALE



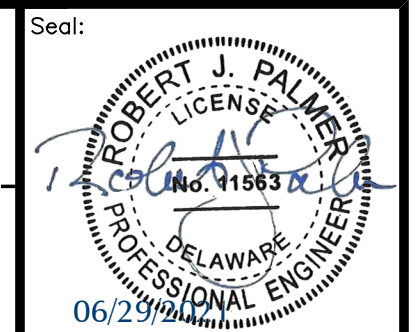
6' HIGH VINYL FENCE (SUSSEX STYLE) BY BACKYARD WORKS
26822 LEWES GEORGETOWN HIGHWAY
HARBESON, DE 19951
(302)703-9888
OR APPROVED EQUAL

DUMPSTER SCREENING
NOT TO SCALE



4' HIGH VINYL FENCE (SUSSEX STYLE) BY BACKYARD WORKS
26822 LEWES GEORGETOWN HIGHWAY
HARBESON, DE 19951
(302)703-9888
OR APPROVED EQUAL

VINYL FENCE ENCLOSURE FOR FAMILY AREA
NOT TO SCALE



Revision	By	Date
1	SKM	03/29/2019
2	SKM	12/28/2020
3	SKM	04/20/2021

MILLVILLE SQUARE
SEDIMENT & STORMWATER MANAGEMENT PLANS
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
TOWN OF MILLVILLE, BALTIMORE HUNDRED,
SUSSEX COUNTY, DELAWARE
TAX MAP #134-12.00-350.00 AND #134-12.00-351.00
CONSTRUCTION DETAILS

Date: FEB 08, 2019
Scale: NO SCALE
Dwn.By: SKM
Proj.No.: TRU01-06

Dwg.: **CD1.1**

SITE DATA

APPLICANT/OWNER:
BRADLEY A. ABSHER
KRYPTON KOMMERCIAL, LLC
118 ATLANTIC AVENUE
SUITE 202
OCEAN VIEW, DELAWARE 19970
BRAD@TRUENORTHLS.COM

APPROVING AGENCY:
SUSSEX CONSERVATION DISTRICT
JOHN JUSTICE
PLAN REVIEWER
GEORGETOWN, DELAWARE 19947
PHONE: 302-856-2105

CONSULTANT:
BEACON ENGINEERING, LLC
23318 CEDAR LANE
GEORGETOWN, DELAWARE 19947
PHONE: 302-864-8825
RJPALMER@BEACONENGINEERINGLLC.COM

PROPERTY & ZONING DATA:

TAX MAP:	134-12.00-350.00	134-12.00-351.00
SITE ADDRESS:	536 ATLANTIC AVENUE, MILLVILLE, DE	38.548222° N
LATITUDE:	38.548344° N	-75.120698° W
LONGITUDE:	-75.121225° W	C-1 TOWN CENTER COMMERCIAL
CURRENT ZONING:	C-1 TOWN CENTER COMMERCIAL	C-1 TOWN CENTER COMMERCIAL
PROPOSED ZONING:	C-1 TOWN CENTER COMMERCIAL	C-1 TOWN CENTER COMMERCIAL
EXISTING CONDITION:	SINGLE FAMILY HOME (DEMOLISHED)	SINGLE FAMILY HOME
EXISTING SITE AREA:	1.45 AC	1.00 AC
PROPOSED SITE AREA:	1.45 AC	1.00 AC
EXISTING WETLAND AREA:		
PROPOSED CONDITION:	SMALL SCALE SHOPPING CENTER	
PROPOSED DISCHARGE LOCATION:	DERRICKSON CANAL	
WATER:	TIDEWATER UTILITIES	
SEWER:	SUSSEX COUNTY	
CUT VOLUME:	1,010 CY	
FILL VOLUME:	4,375 CY	
NUMBER OF EXISTING LOTS:	2	
NUMBER OF PROPOSED LOTS:	1	
NET DEVELOPMENT AREA:	1.86 AC (AC WITHIN SETBACKS)	
PROPOSED DISTURBED:	2.42 AC	
SITE ACCESS:	ATLANTIC AVENUE (SR #26)	
VERTICAL DATUM:	NAVD 88 (FEET)	4818/282
HORIZONTAL DATUM:	DELAWARE STATE PLANE NAD 83 (FEET)	1,714 SF
DEED REFERENCE:	4916/210	
EXISTING BUILDING AREA:	2,018 SF	
PROPOSED BUILDING AREA:	1,965 SF (EACH UNIT, 13 UNITS TOTAL)	
	25,545 SF TOTAL	

COMMERCIAL: 25,545 SF (24%)
PARKING: 31,904 SF (29%)
SIDEWALKS: 7,323 SF (07%)
FAMILY AREA: 2,250 SF (02%)
STORMWATER MANAGEMENT: 10,200 SF (10%)
OPEN SPACE/LANDSCAPING: 29,660 SF (28%)
STATE STRATEGIES INVESTMENT: 2, 3 AND OUT OF PLAY
POSTED SPEED LIMIT: 35
NEAREST TOWN: MILLVILLE, DELAWARE
SURVEYOR: TRUE NORTH LAND SURVEYING, INC
DATE OF SURVEY: MAY 9, 2018

PORTIONS OF THESE PROPERTIES ARE WITHIN THE 100 YR FLOOD PLAIN PER FEMA MAP NUMBERED 1005CO511K DATED MARCH 15, 2015. REFER TO SITE PLAN FOR LOCATION.
THIS PROJECT WILL BE CONSTRUCTED IN 1 PHASE.

HEIGHT, AREA, & BULK REQUIREMENTS

FRONT YARD SETBACK:	20 FT
SIDE YARD SETBACK:	15 FT
REAR YARD SETBACK:	20 FT (30 FT IF ADJACENT TO RESIDENTIAL)
MAXIMUM BUILDING HEIGHT:	42 FT (4 STORIES)
MINIMUM LOT AREA:	2 AC
MAXIMUM LOT AREA:	4 AC
MINIMUM LOT FRONTAGE:	200 FT
MAXIMUM LOT COVERAGE:	60% (CAN BE INCREASED TO 70% BY THE TOWN COUNCIL IF PARKING IS LOCATED TO THE SIDE OR REAR OF THE PRIMARY BUILDING WITH THE ADDITIONS OF STREETScape, PLAZAS, COURTYARDS & PERMANENT SITE

PROPOSED LOT COVERAGE: 52%

PARKING REQUIREMENTS:

RETAIL STORE (25,545 SF):	1 PER 300 SF OF FLOOR AREA (5% REDUCTION FOR EVERY 5000 SF OF GFA ABOVE 5000 SF)
25,545 SF/300 SF =	86 SPACES
20% REDUCTION =	68 SPACES

TOTAL SPACES REQUIRED: 68 SPACES

PARKING PROVIDED:

SHOPPING CENTER:	68 SPACES
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ACCESSIBLE PARKING REQUIREMENTS:

PARKING (51-75):	3 SPACES (INCLUDES 1 VAN SPACE)
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ACCESSIBLE PARKING PROVIDED:

	4 SPACES
TOTAL PARKING PROVIDED:	68 SPACES

GENERAL NOTES

- TOPOGRAPHIC SURVEY WAS PERFORMED BY TRUE NORTH LAND SURVEYING, INC. MAY 9, 2018. HORIZONTAL DATUM IS NAD 83, DELAWARE SPC. VERTICAL DATUM IS REPORTED IN NAVD88. ALL UNITS ARE IN FEET.
- THE CONTRACTOR SHALL PROVIDE ALL STAKEOUT WORK NECESSARY FOR PROJECT CONSTRUCTION BY A SURVEYOR LICENSED IN THE STATE OF DELAWARE.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY OF DELMARVA" AT (1-800-282-8555) AT LEAST 48 HOURS PRIOR TO EXCAVATION, TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, AND THE CONTRACT SPECIFICATIONS.
- ALL PAVING, FENCING, SIGNS, OBJECTS, ETC. DAMAGED BY THE WORK SHALL BE RESTORED TO ORIGINAL CONDITION. COST FOR RESTORATION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR UTILITY INSTALLATION.
- ONLY SUITABLE AND APPROVED GRANULAR MATERIAL SHALL BE USED FOR BACKFILL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS.
- DRAWINGS & SPECIFICATIONS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL APPLICABLE RULES AND REGULATIONS.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
- STATE AND FEDERAL WETLANDS DO NOT EXIST WITHIN THE PROPOSED LIMIT OF DISTURBANCE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE OWNER.

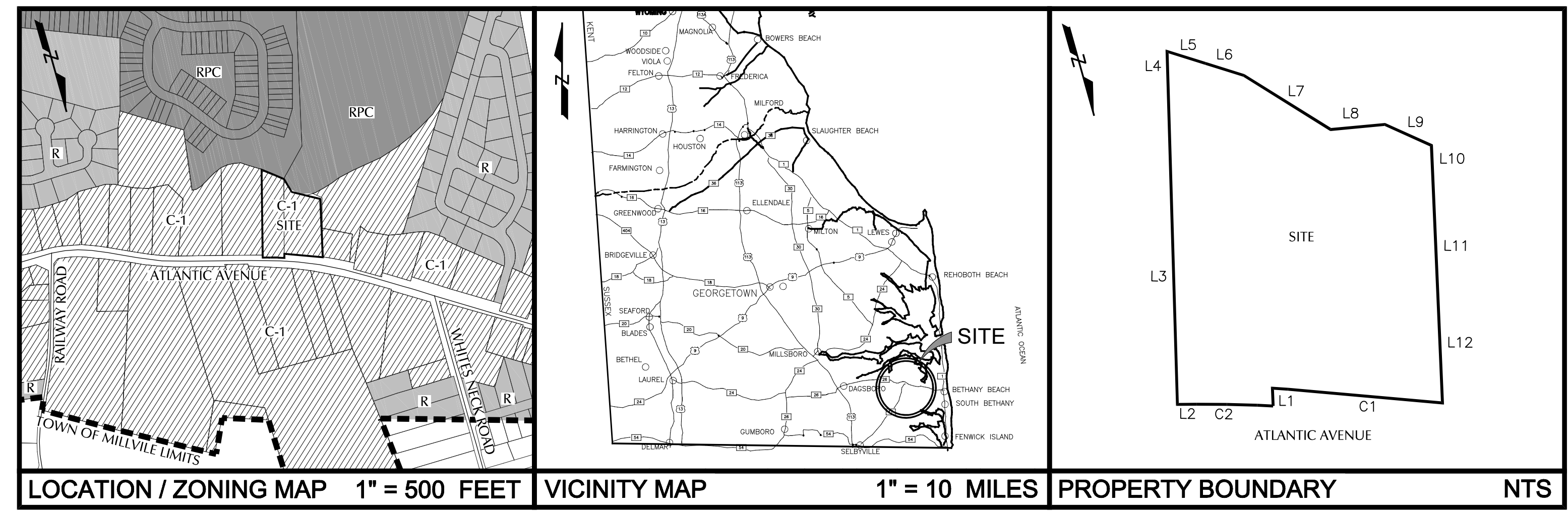
MILLVILLE SQUARE

CONSTRUCTION ENTRANCE PLANS

WHITE CREEK - INDIAN RIVER BAY WATERSHED, TOWN OF MILLVILLE, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

TAX MAPS 134-12.00-350.00 & 134-12.00-351.00

MAY 2019 TRU01-06

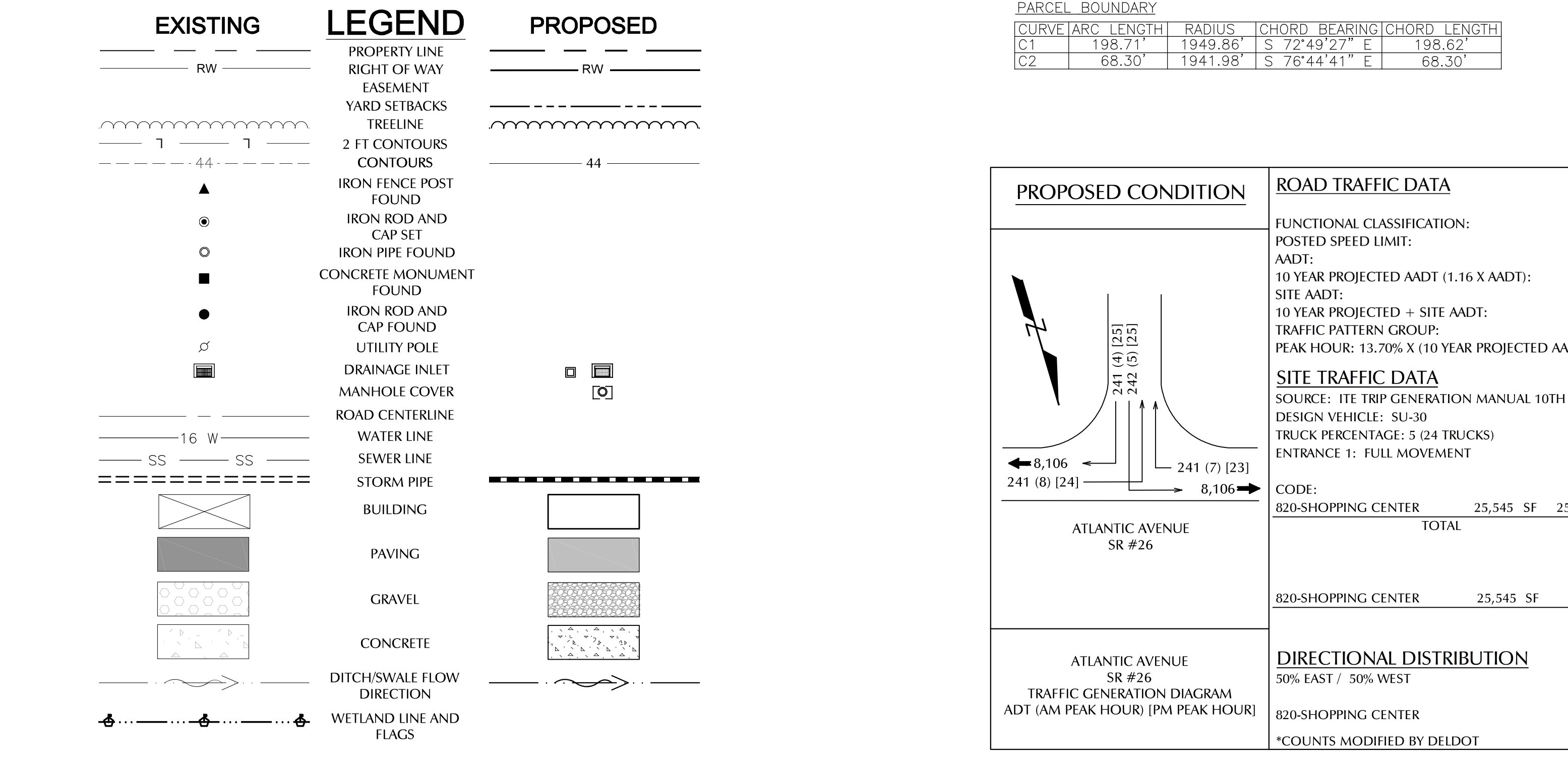


PARCEL BOUNDARY

LINE	BEARING	DISTANCE
L1	N 12°38'46" E	9.00'
L2	S 77°45'08" E	43.68'
L3	S 12°38'46" W	365.38'
L4	S 12°38'46" W	20.91'
L5	N 59°55'37" W	94.09'
L6	N 46°39'23" W	25.82'
L7	N 44°29'01" W	93.61'
L8	N 82°42'50" W	63.67'
L9	N 53°05'38" W	59.78'
L10	N 12°21'51" E	9.83'
L11	N 12°21'51" E	144.03'
L12	N 12°21'51" E	148.75'

PARCEL BOUNDARY

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	198.71'	1949.86'	S 72°49'27" E	198.62'
C2	68.30'	1941.98'	S 76°44'41" E	68.30'



PROPOSED CONDITION

ROAD TRAFFIC DATA

FUNCTIONAL CLASSIFICATION:	MINOR ARTERIAL
POSTED SPEED LIMIT:	35 MPH
AADT:	16,212 TRIPS
10 YEAR PROJECTED AADT (1.16 X AADT):	18,806 TRIPS
SITE AADT:	965 TRIPS
10 YEAR PROJECTED + SITE AADT:	19,771 TRIPS
TRAFFIC PATTERN GROUP:	8
PEAK HOUR: 13.70% X (10 YEAR PROJECTED AADT + SITE ADT):	2,709 TRIPS

SITE TRAFFIC DATA

SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION
DESIGN VEHICLE: SU-30
TRUCK PERCENTAGE: 5 (24 TRUCKS)
ENTRANCE 1: FULL MOVEMENT

CODE:	ADT	(AM PK)	(PM PK)
820-SHOPPING CENTER	25,545 SF	25.55 ksf X 37.75 = 965	25.55 ksf X 3.00 = 77
TOTAL	965	77	108

ADT	(AM PK)	ENTER	EXIT	(PM PK)	ENTER	EXIT
820-SHOPPING CENTER	965	41 (15%)	35 (9%)	54 (47%)	54 (50%)	
965		77 (24%)		108 (97%)		

DIRECTIONAL DISTRIBUTION

50% EAST / 50% WEST	(AM PK)	(PM PK)
820-SHOPPING CENTER	54 % ENTERING	46 % EXITING
	50 % ENTERING	50 % EXITING

*COUNTS MODIFIED BY DELDOT

DRAWING INDEX:

SHEET 1	T1.0	COVER SHEET
SHEET 2	T1.1	DETAILS AND NOTES
SHEET 3	EP1.1	DELDOT GRADING, DEMOLITION & ENTRANCE PLANS
SHEET 4	EP2.1	DELDOT ROAD SECTIONS
SHEET 5	EP2.2	DELDOT ROAD SECTIONS
SHEET 6	EP2.3	DELDOT ROAD SECTIONS
SHEET 7	EP3.1	DRAINAGE INFORMATION, PIPE AND STRUCTURE TABLES
SHEET 8	SS1.1	DELDOT SIGNAGE AND STRIPING PLAN
SHEET 9	SS1.2	DELDOT MAINTENANCE OF TRAFFIC (MOT) PLAN

OWNER'S / DEVELOPER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AS PARCELS #134-12.00-350.00 AND #134-12.00-351.00 AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, AND I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

Bradley A. Absher 3/30/21
OWNER: BRADLEY A. ABSHER
KRYPTON KOMMERCIAL, LLC
118 ATLANTIC AVENUE, SUITE 202
OCEAN VIEW, DE 19970

ENGINEER'S CERTIFICATION

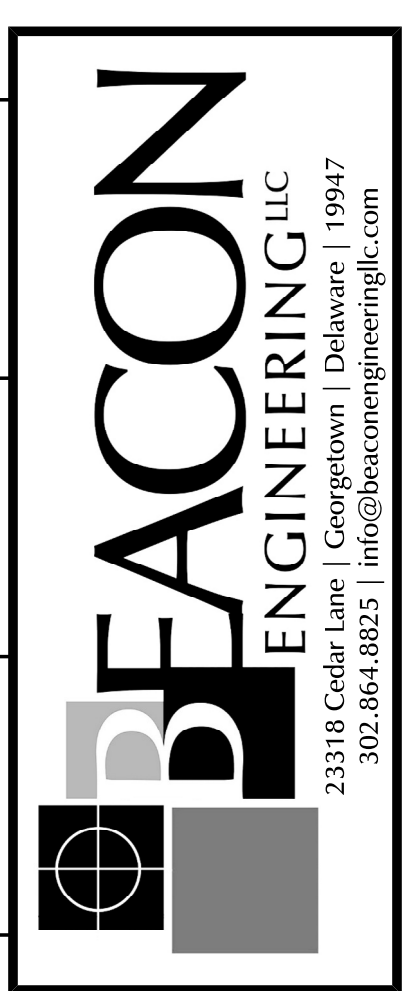
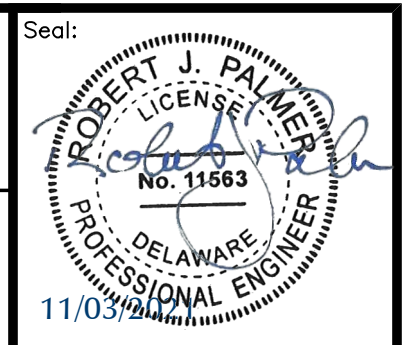
I, ROBERT J. PALMER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THIS PLAN WAS EITHER PREPARED BY ME OR UNDER MY DIRECTION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. MY LICENSE NUMBER IS 11563, AND EXPIRES ON JUNE 30, 2022.

Robert J. Palmer 11/03/2021
ENGINEER: ROBERT J. PALMER, P.E. DATE

SURVEYOR'S CERTIFICATION:

"I BRADLEY A. ABSHER HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE ON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE."

Bradley A. Absher 3/30/21
SURVEYOR: BRADLEY A. ABSHER
TRUE NORTH LAND SURVEYING, INC.
118 ATLANTIC AVENUE, SUITE 202
MILLVILLE, DE 19970



Date:	By:	Revision:
06/14/19	SKM	DELDOT COMMENTS
07/17/20	SKM	DELDOT COMMENTS
12/07/20	SKM	DELDOT COMMENTS
01/11/21	SKM	DELDOT COMMENTS
01/11/21	SKM	SUP LIGHTING COORDINATION

MILLVILLE SQUARE
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
TOWN OF MILLVILLE, BALTIMORE HUNDRED,
SUSSEX COUNTY, DELAWARE
TAX MAP # 134-12.00-350.00 AND # 134-12.00-351.00
ATLANTIC AVENUE - SR #26

COVER SHEET

Date: JUN 07, 2019
Scale: AS SHOWN
Dwn.By: SKM
Proj.No.: TRU01-06

Dwg.: Sheet:01
T1.0

DELDOT GENERAL NOTES (3/16/2021 REVISION)

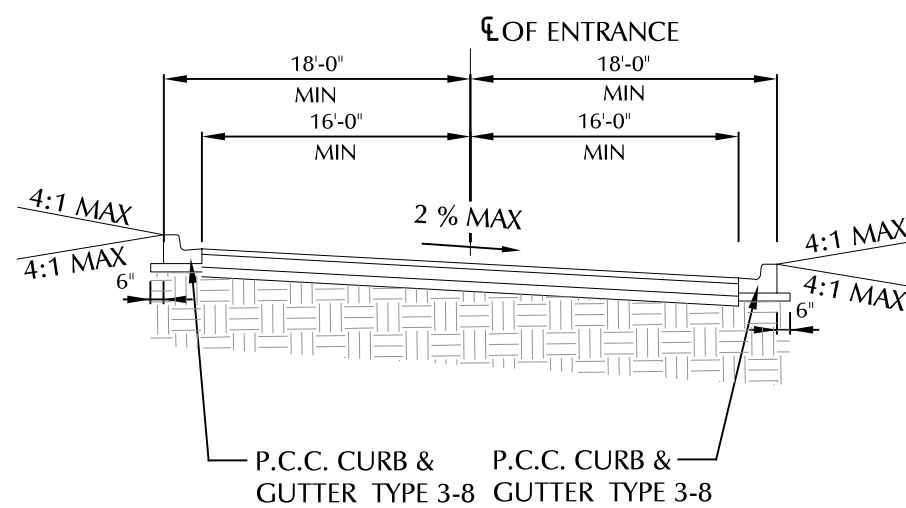
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS, PAS MANUAL AND DESIGN GUIDANCE MEMORANDUMS.
- ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
- A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
- ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
- A COPY OF THE UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE (SEE NOTE #5).
- SHOULD UTILITY RELOCATION BE REQUIRED, THE DEVELOPER MUST SUBMIT A UTILITY RELOCATION PLAN FOR DELDOT REVIEW, ALONG WITH CORRESPONDENCE FROM THE UTILITY COMPANIES STATING PRELIMINARY APPROVAL TO THE RELOCATION AND DESIGN OF THE UTILITIES PRIOR TO THE DELDOT PRE-CONSTRUCTION MEETING. NO PHYSICAL CONSTRUCTION CAN OCCUR UNTIL THE UTILITY PLANS ARE APPROVED, THE INDIVIDUAL UTILITY COMPANIES ISSUE FINAL APPROVAL, AND A DELDOT UTILITY PERMIT IS ISSUED TO THE UTILITY COMPANY.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A 'NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE' UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
- DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD.
- DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
 - EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING.
 - THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
 - PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII - TRAFFIC, T-15.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE ENDS OF ALL CURBS SHALL BE TRANSITIONED TO BE FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
- WHERE CURB TYPE AND/OR HEIGHT IS BEING VARIED, TAPER CURB PER THE DELDOT INSPECTOR (TYPICAL FOR BOTH SIDES OF THE ENTRANCE).
- ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT. REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED TO THE ELEVATIONS SHOWN AND NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
- ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
- ALL PROPOSED CLOSED STORMDRAIN SYSTEMS SHALL BE VIDEO INSPECTED, REPAIRED AS NECESSARY AND APPROVED PRIOR TO THE INSTALLATION OF FINAL PAVING. IF REPAIRS ARE NEEDED, THE REPAIRED PIPE SECTIONS WILL NEED TO BE VIDEO INSPECTED AGAIN BEFORE THE REPAIR CAN BE APPROVED.
- THE DEVELOPER AND EXISTING/FUTURE OWNER OF NON-STATE-MAINTAINED ROADWAYS SHALL ENSURE THAT THE TRAFFIC CONTROL DEVICES ON SAID ROADWAYS OPEN TO PUBLIC TRAVEL ARE IN COMPLIANCE WITH THE LATEST VERSION OF THE DELAWARE MUTCD.
- ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.
- THE CONTRACTOR SHALL NOTIFY DART FIRST STATE AT DOT_DETOURS@DELAWARE.GOV AT LEAST 14 DAYS PRIOR TO THE START OF ANY DETOURS OR CONSTRUCTION, AND DOT_DTC_PROJECTDEVELOPMENT@DELAWARE.GOV AT SUCH TIME THE FACILITY IS COMPLETED AND OPERABLE FOR TRANSIT OPERATIONS. FOR EMERGENCY DETOUR INFORMATION ONLY PLEASE CONTACT DTC'S CHIEF SCHEDULER AT 302-576-6019.
- FOR INFORMATION ON OBTAINING A UTILITY PERMIT IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-PUBLIC WORKS AT (302) 853-1345. FOR INFORMATION ON GETTING APPROVAL FOR PROPOSED OUTDOOR ADVERTISING IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-OUTDOOR ADVERTISING & ROADSIDE CONTROL AT (302) 853-1327.

SEDIMENT AND STORMWATER CONSTRUCTION NOTES

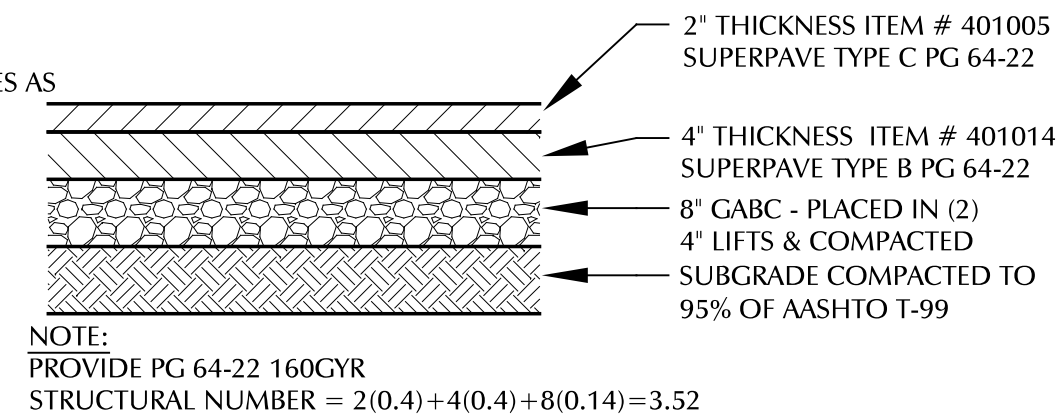
- THE SUSSEX CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER PLAN.
- REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE SUSSEX CONSERVATION DISTRICT.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION & SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVED PLANS SHALL REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
- POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT & STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS #6426. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, WRITING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING PERFORMANCE LOGS OF THESE INSPECTIONS.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE SUSSEX CONSERVATION DISTRICT TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN AND THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE SUSSEX CONSERVATION DISTRICT SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATION PROVIDED IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- THE SITE CONTRACTOR, UNDER THE DIRECTION OF THE OWNER, SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR TO ALL THE SEDIMENT CONTROL AND STORMWATER MANAGEMENT DEVICES DURING SITE CONSTRUCTION ACTIVITIES INCLUDING UTILITY INSTALLATION.
- THE OWNER GRANTS THE SUSSEX CONSERVATION DISTRICT PERMISSION TO CONDUCT ONSITE INSPECTIONS. THE DISTRICT SHALL REPORT TO THE SITE OFFICE PRIOR TO ACCESSING THE FACILITY.
- THE OWNER SHALL MAINTAIN ALL STORMWATER MANAGEMENT DEVICES FOR THE LIFE OF THIS FACILITY.
- A PERIODIC MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES SHALL BE REQUIRED TO INSURE EFFECTIVE SEDIMENT CONTROL. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES OTHER THAN PERIMETER CONTROLS SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION IS ESTABLISHED AND ACCEPTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- ALL AREAS NOT COVERED BY BUILDING OR PAVEMENT WILL BE SEEDDED USING PERMANENT SEED MIXTURE SHOWN ON THIS PLAN. A MINIMUM OF 4" OF TOPSOIL SHALL BE APPLIED TO ALL AREAS REQUIRING SEEDING. AREAS OF 'CUT' SHALL BE UNDERCUT AND FINAL GRADES ESTABLISHED WITH A MINIMUM OF 4" TOPSOIL. TOPSOIL SHALL BE A MINIMUM OF 4" THICK IN THE DELDOT RIGHT-OF-WAY AND PERMANENT EASEMENT.
- UPON COMPLETION OF STOCKPILING, TOPSOIL, SEED AND MULCH USING TEMPORARY SEED MIXTURE SPECIFICATIONS IF TO REMAIN IN PLACE LONGER THAN 14 DAYS.
- SEEDING (PERMANENT):
 - SHALL BE CONSTRUCTED BETWEEN FEBRUARY 1 TO APRIL 30 OR AUGUST 15 TO OCTOBER 31.
 - SEED BED PREPARATION: APPLY 23 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 92 LBS. PER 1000 SQ. FT.
 - SEEDING: APPLY SPECIFIED DELAWARE SEED MIX ON A MOIST SEED BED WITH SUITABLE EQUIPMENT, MINIMUM COVERAGE 1/4 INCH, UNLESS OTHERWISE NOTED. REFER TO STABILIZATION REQUIREMENTS ON SHEET SW2.4.
 - MULCHING: IMMEDIATELY AFTER SEEDING, UNIFORMLY MULCH ENTIRE AREA WITH UNWEATHERED SMALL GRAIN STRAW AT A RATE OF 92 LBS. PER 1000 SQ. FT. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTOUR OR ASPHALT TIE-DOWN METHODS.
- ALL FILL SLOPE AREAS SHOWN HEREON ARE TO BE STABILIZED PER PARAGRAPH 23 ABOVE IMMEDIATELY AFTER COMPLETION OF GRADING OPERATIONS FOR THESE SLOPES.
- IF CONSTRUCTION ACTIVITY IS COMPLETED OR CEASES FOR A PERIOD OF 14 DAYS, ALL DISTURBED AREAS WILL BE STABILIZED EITHER PERMANENTLY OR TEMPORARILY, FOLLOWING THE SPECIFICATIONS AND STANDARDS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- TEMPORARY VEGETATIVE COVER, MULCHING AND/OR SPRINKLING WITH WATER SHALL BE THE METHODS USED AS NECESSARY TO CONTROL DUST. CONTROL DUST USING ONE OF THE APPROVED METHODS SPECIFIED IN DE-ESC-3.4.8. REFER TO DRAWING SW2.3.
- THE CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY SEDIMENT CONTROL MEASURES AS IT DEEMS NECESSARY.
- PROVIDE EXCLOSIR MATTING ON ALL SLOPES OF 3:1 OR GREATER AND IN ALL AREAS OF CONCENTRATED FLOW. USE SSM-1 FOR SLOPES UP TO 3:1; USE SSM-11, FOR SLOPES BETWEEN 2:1 AND 3:1.
- STREETS SHALL BE SWEEPED CLEAN AT THE END OF EVERY WORK DAY AND PRIOR TO EXPECTED RAINFALL.

SEQUENCE OF CONSTRUCTION

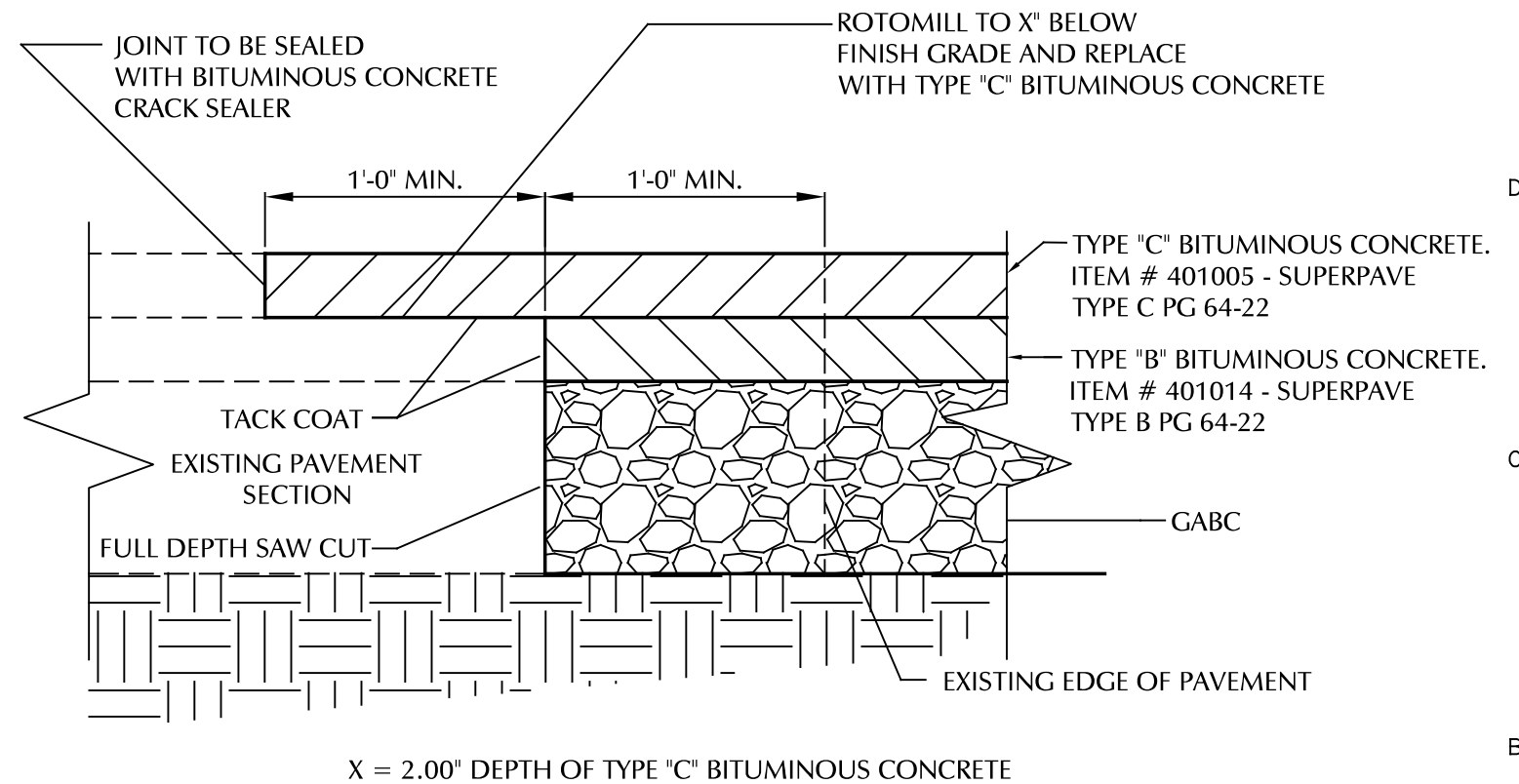
- CONTACT SUSSEX CONSERVATION DISTRICT AT 302-856-2105 OF INTENT TO BEGIN CONSTRUCTION AND SCHEDULE A PRE-CONSTRUCTION MEETING. REFER TO SEDIMENT AND STORMWATER CONSTRUCTION NOTE 1.
- PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER. THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- CONDUCT THE PRE-CONSTRUCTION MEETING AT THE SITE.
- INSTALL PERIMETER CONTROLS INCLUDING STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE OR BERMS AND STABILIZE PERIMETER BERMS.
- ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FUTURE SITE DISTURBANCE OR CONSTRUCTION.
- AS NECESSARY, CLEAR AND GRUB WITHIN THE LIMITS OF DISTURBANCE. DISTURBANCE SHALL NOT EXCEED THE LIMITS SHOWN ON THE APPROVED PLAN WITHOUT APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- CONTACT DNREC AT (302)739-9944 TO OBTAIN A CONSTRUCTION DEWATERING PERMIT IF DEWATERING IS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. THE SUSSEX COUNTY CONSERVATION DISTRICT INSPECTOR SHALL INSPECT AND APPROVE ALL DEWATERING OPERATIONS.
- INSTALL PERMANENT OUTLET CONTROL STRUCTURE AND OUTFALL PIPE WORKING FROM DOWNSTREAM TO UPSTREAM DIRECTION.
- EXCAVATE FOR AND INSTALL RETAINING WALL WITH DEWATERING DEVICE AND PUMPING PIT.
- EXCAVATE SEDIMENT TRAP AS SHOWN ON PLAN AND INSTALL DEWATERING SKIMMER DEVICE AT LOW FLOW ORIFICE.
- TEMPORARILY BLOCK WEIR OPENING AT INVERT EL 8.15 UP TO EL 8.50 USING PLYWOOD SHEATHING AND 2"x4" BLOCKING. USE CAULKING AS NECESSARY TO SEAL PLYWOOD TO CONCRETE IN WATERTIGHT CONDITION.
- INSTALL PERMANENT STORMDRAIN SYSTEM.
- INSTALL SPECIFIED INLET PROTECTION AS EACH BASIN IS INSTALLED.
- EXCAVATE TEMPORARY SWALES WHERE INDICATED.
- STRIP TOPSOIL FROM BUILDING PAD LOCATIONS AND AREAS TO BE FILLED AND STOCKPILE TOPSOIL. STABILIZE THE TOPSOIL STOCKPILE AND SURROUND WITH SILT FENCE.
- DENSITY SOILS AND FILL TO REQUIRED GRADES TO ESTABLISH BUILDING PAD SUBGRADE ELEVATIONS.
- GRADE REMAINDER OF SITE & CONSTRUCT PARKING LOT, SIDEWALKS AND DELDOT ENTRANCE.
- UPON COMPLETION OF PAVING, INSPECT AND REMOVE SILT FROM STORM DRAINS.
- NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST 3 DAYS PRIOR TO THE START OF STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGH OUT THEIR CONSTRUCTION.
- REFER TO SEQUENCE OF CONSTRUCTION ON DRAWING SW4.1 TOPSOIL, SEED AND MULCH THE SIDE SLOPES, BOTTOM OF POND AND DISTURBED AREAS AROUND THE POND. SOIL STABILIZATION MATTING SHALL BE USED ON ANY SLOPES 3:1 OR STEEPER.
- RESTORE ALL PAVEMENT DAMAGED AND TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS IN ACCORDANCE WITH THE SEDIMENT AND STORMWATER CONSTRUCTION NOTES ON THIS SHEET.
- REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASIN.
- CONVERT TEMPORARY SEDIMENT TRAP TO PERMANENT EXTENDED DETENTION WET POND. REFER TO POND CODE 378 CONSTRUCTION SPECIFICATIONS.
- EXCAVATE PERMANENT EXTENDED DETENTION WET POND AS SHOWN ON PLAN. CONTRACTOR SHALL COMPLETE THE WET POND CONSTRUCTION CHECKLIST AS POND CONSTRUCTION COMMENCES.
- INSTALL GCL POND LINER FROM BOTTOM OF POND TO PERMANENT POOL ELEVATION.
- REMOVE TEMPORARY PLYWOOD AND BLOCKING.
- INSTALL PERMANENT TRASH RACK.
- REMOVE TEMPORARY DEWATERING SKIMMER DEVICE AND INSTALL BARGUARD PROTECTION AT LOW FLOW ORIFICE.
- CONTACT SUSSEX CONSERVATION DISTRICT FOR FINAL CLOSEOUT INSPECTION.
- EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM AGENCY CONSTRUCTION SITE REVIEWER.
- THE TERMINATION OF THE GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ELEMENTS OF THE SEDIMENT AND STORMWATER PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL O AND M PLAN.



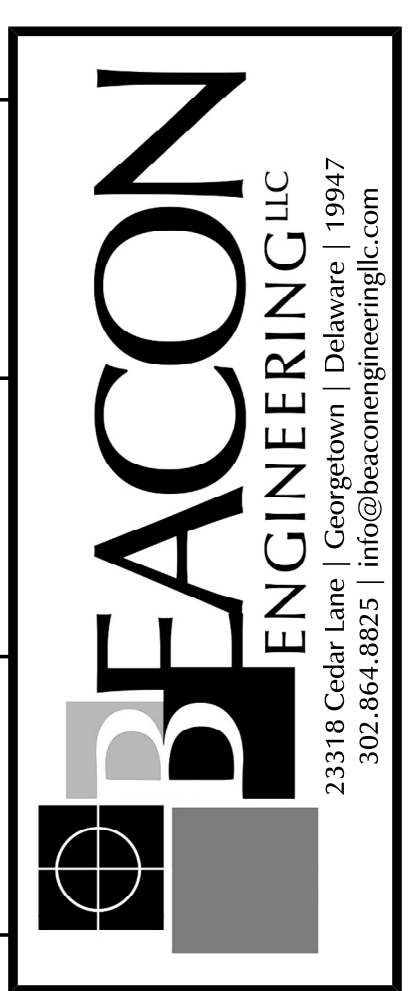
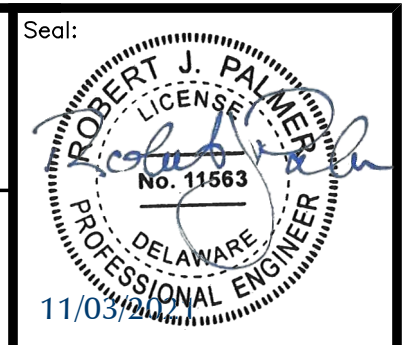
ENTRANCE CROSS SECTION TYPE II WITH CURB NTS



DELDOT CLASS II PAVING SECTION
NOT TO SCALE



TYPICAL PAVEMENT TIE-IN DETAIL
NOT TO SCALE

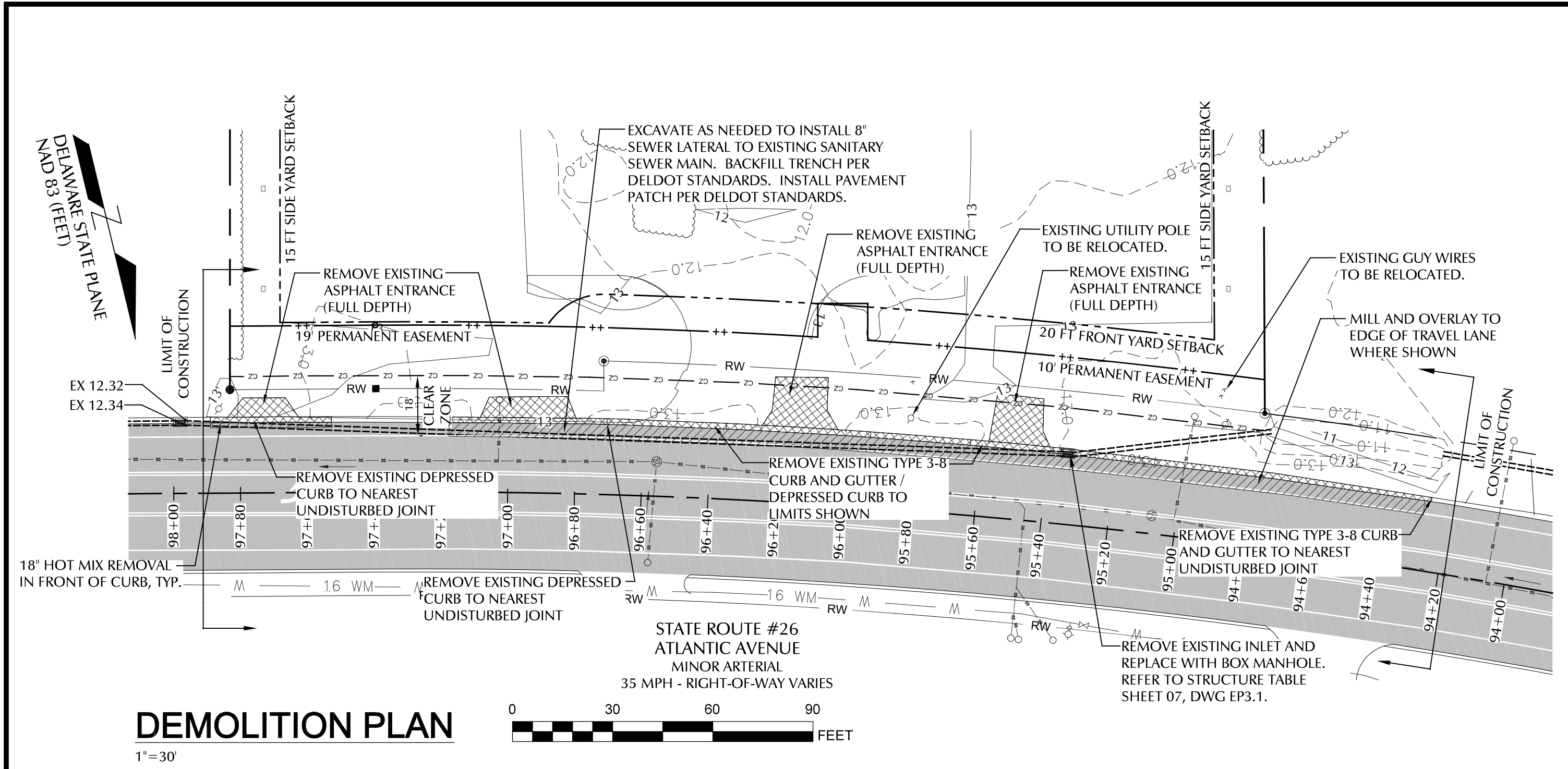
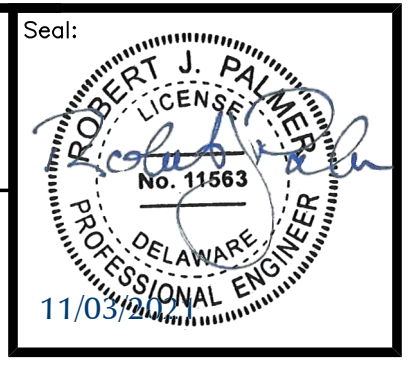


Revision	By	Date
DELDOT COMMENTS	SKM	06/14/19
DELDOT COMMENTS	SKM	07/17/20
DELDOT COMMENTS	SKM	12/07/20
DELDOT COMMENTS	SKM	01/11/21
SUP LIGHTING COORDINATION	SKM	01/11/21

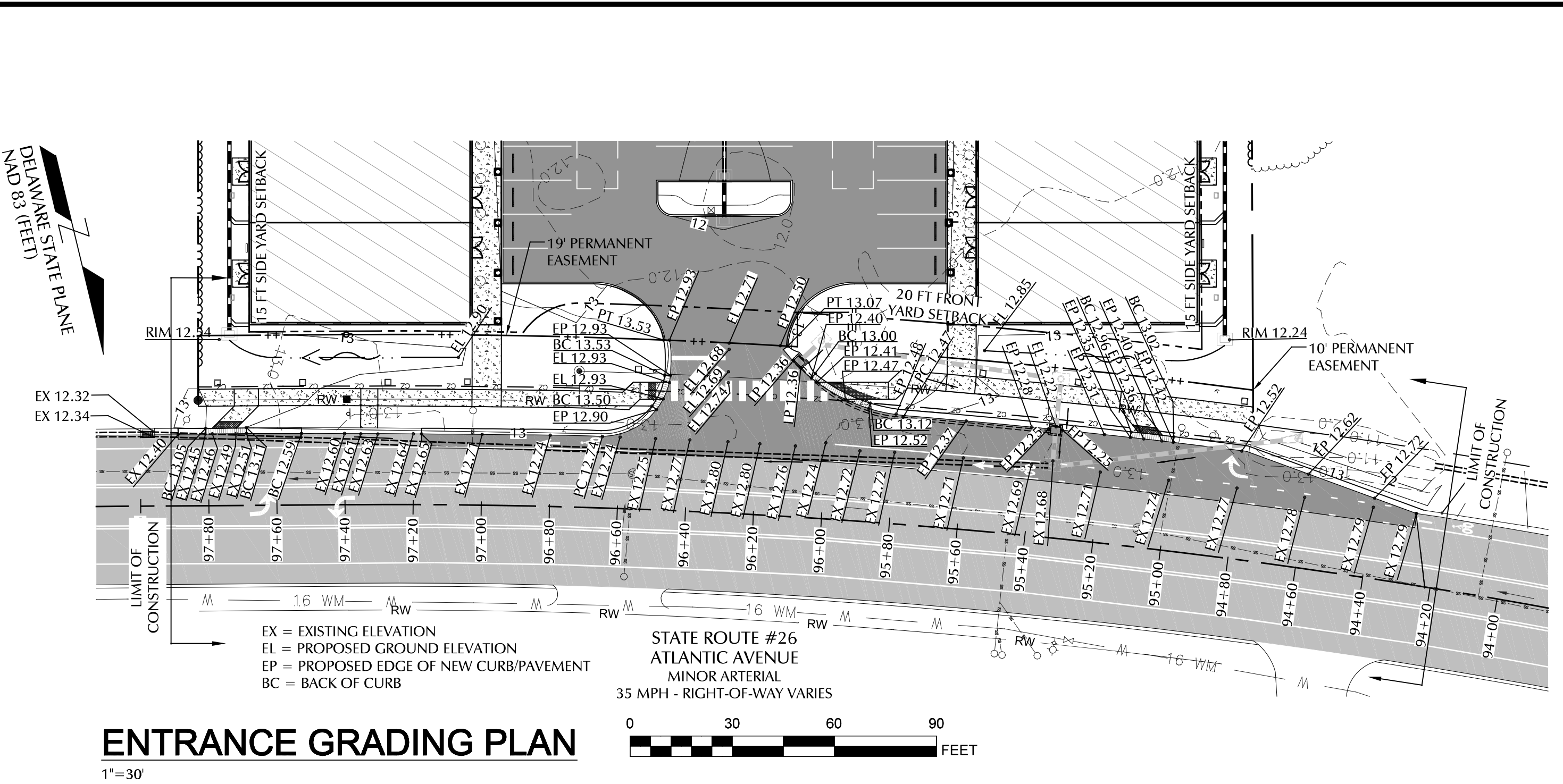
MILLVILLE SQUARE
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
TOWN OF MILLVILLE, BALTIMORE HUNDRED,
SUSSEX COUNTY, DELAWARE
TAX MAP # 134-12.00-350.00 AND # 134-12.00-351.00
ATLANTIC AVENUE - SR #26

Date:	JUN 07, 2019
Scale:	AS SHOWN
Dwn.By:	SKM
Proj.No.:	TRU01-06

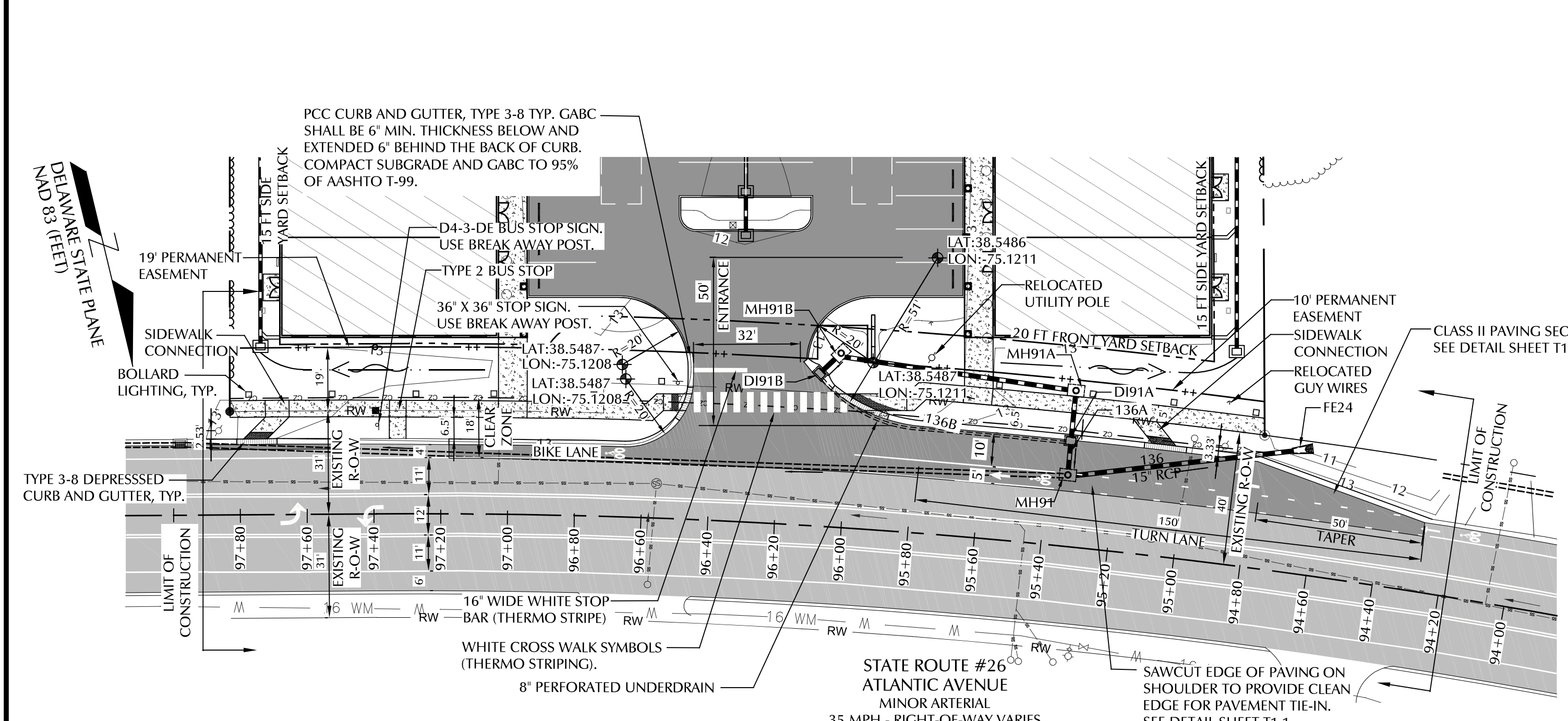
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T1.1



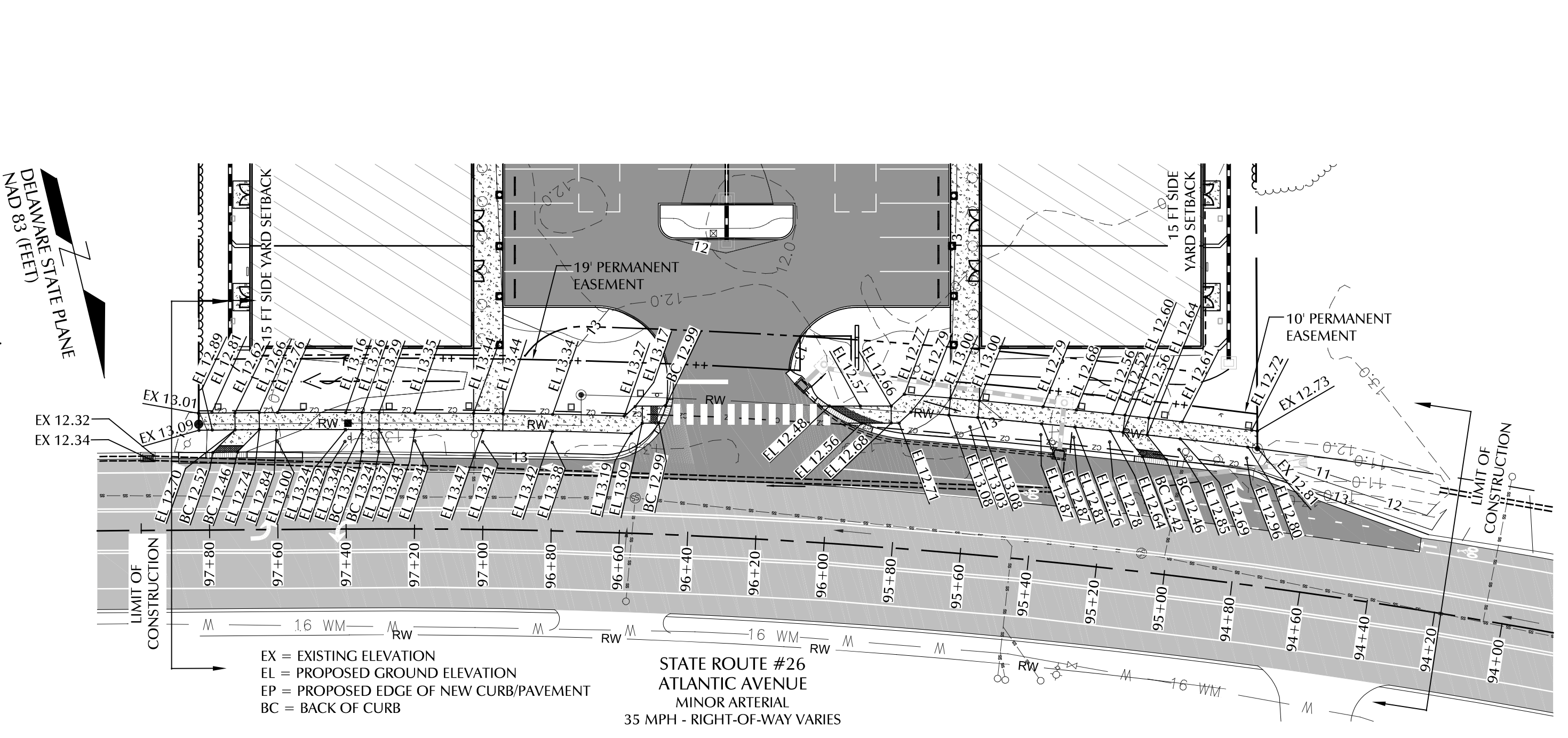
DEMOLITION PLAN
1"=30'



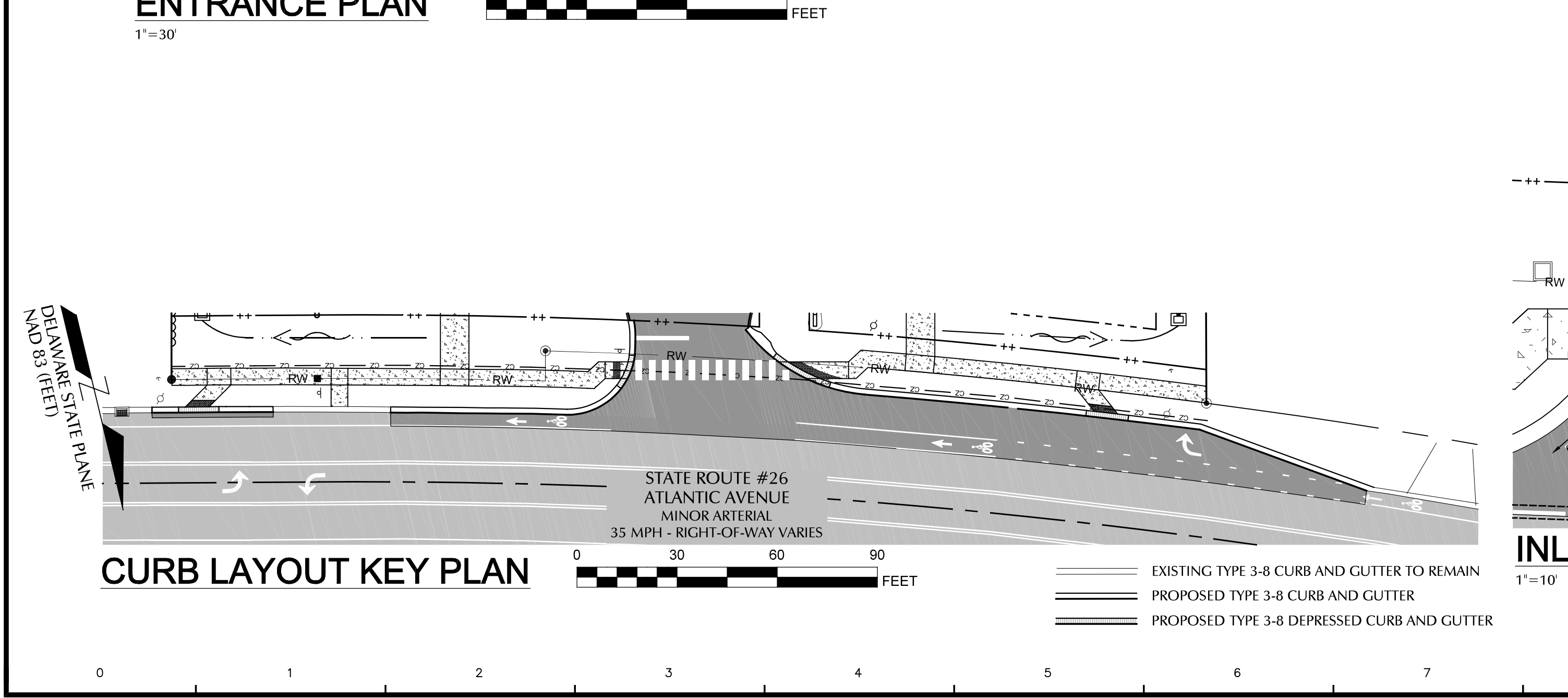
ENTRANCE GRADING PLAN
1"=30'



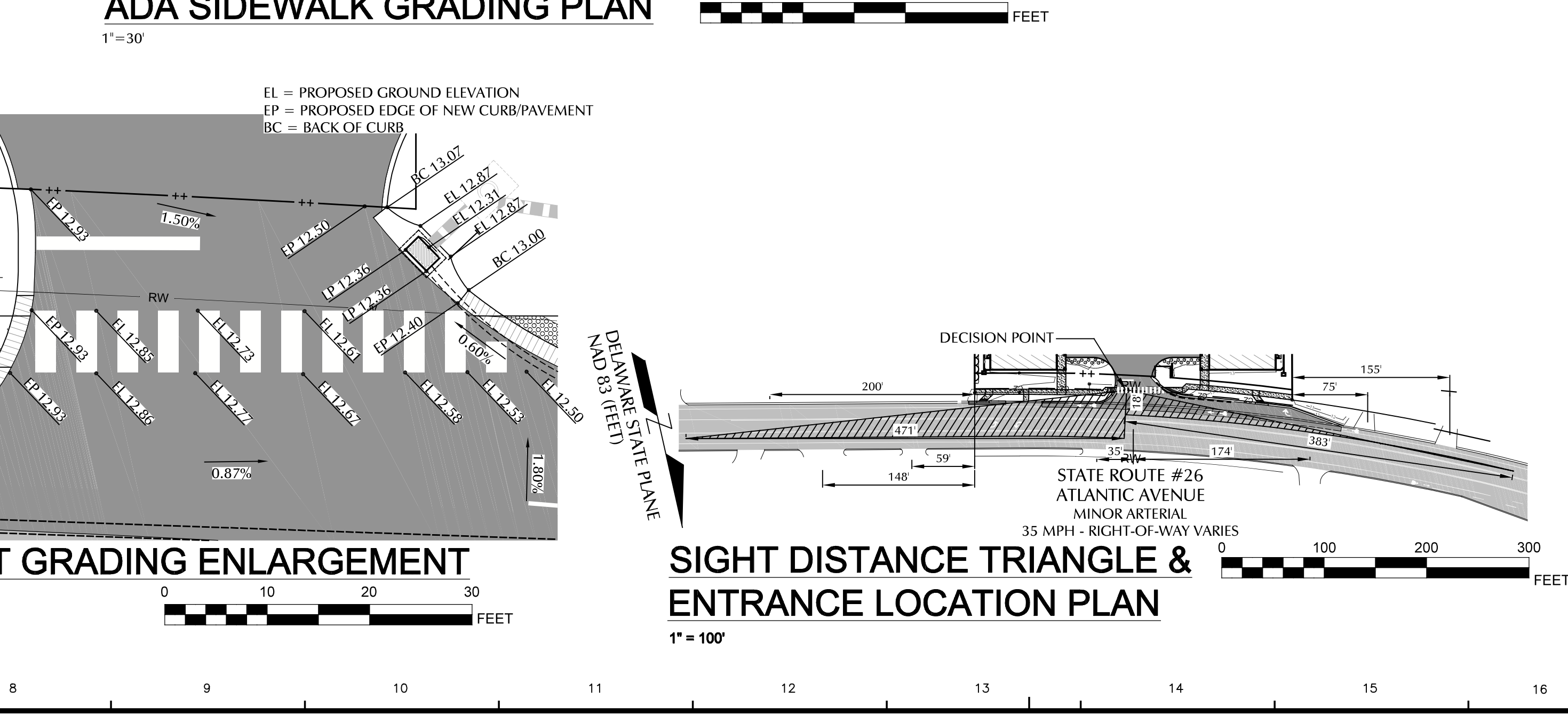
ENTRANCE PLAN
1"=30'



ADA SIDEWALK GRADING PLAN
1"=30'



CURB LAYOUT KEY PLAN
1"=30'



INLET GRADING ENLARGEMENT
1"=10'

SIGHT DISTANCE TRIANGLE & ENTRANCE LOCATION PLAN
1"=100'

Revision	By	Date
1	SKM	06/14/19
2	SKM	07/17/20
3	SKM	12/07/20
4	SKM	01/11/21
5	SKM	01/11/21

MILLVILLE SQUARE
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
TOWN OF MILLVILLE, BALTIMORE HUNDRED,
SUSSEX COUNTY, DELAWARE
TAX MAP # 134-12.00-350.00 AND # 134-12.00-351.00
ATLANTIC AVENUE - SR #26

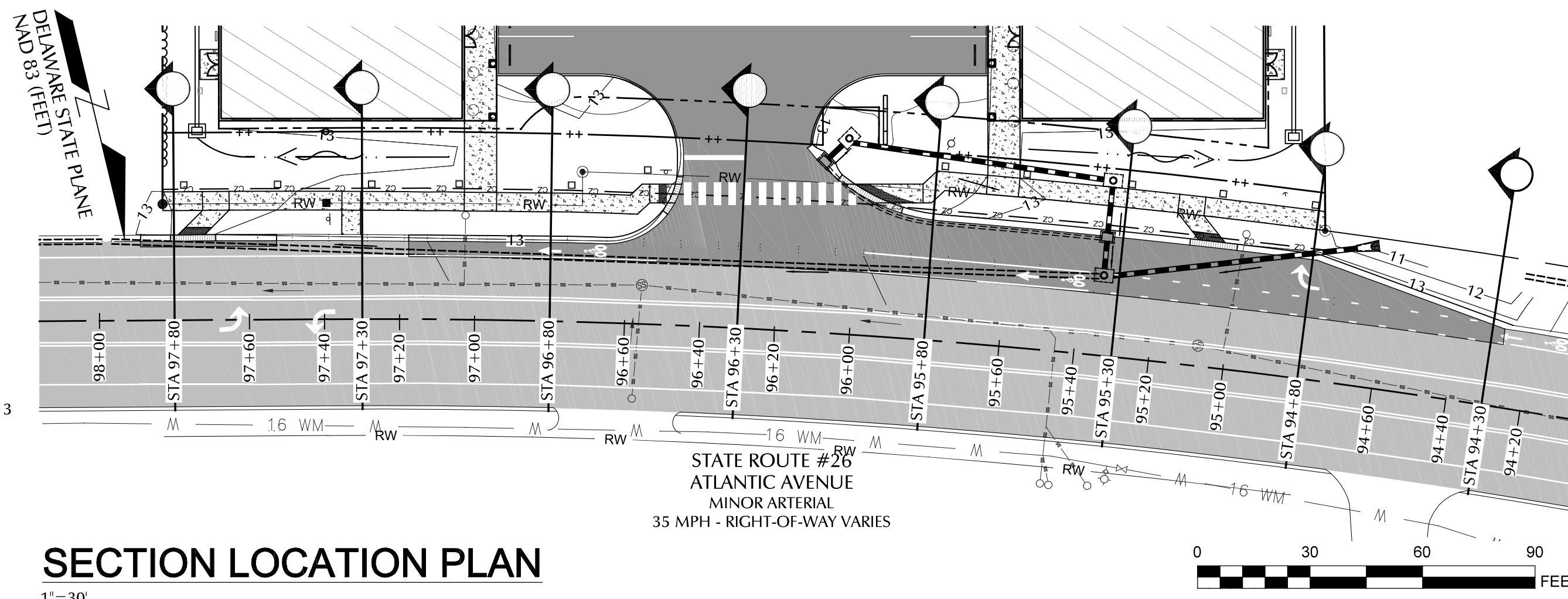
DELDOT GRADING, DEMOLITION & ENTRANCE PLANS

Date: JUN 07, 2019
Scale: AS SHOWN
Dwn.By: SKM
Proj.No.: TRU01-06

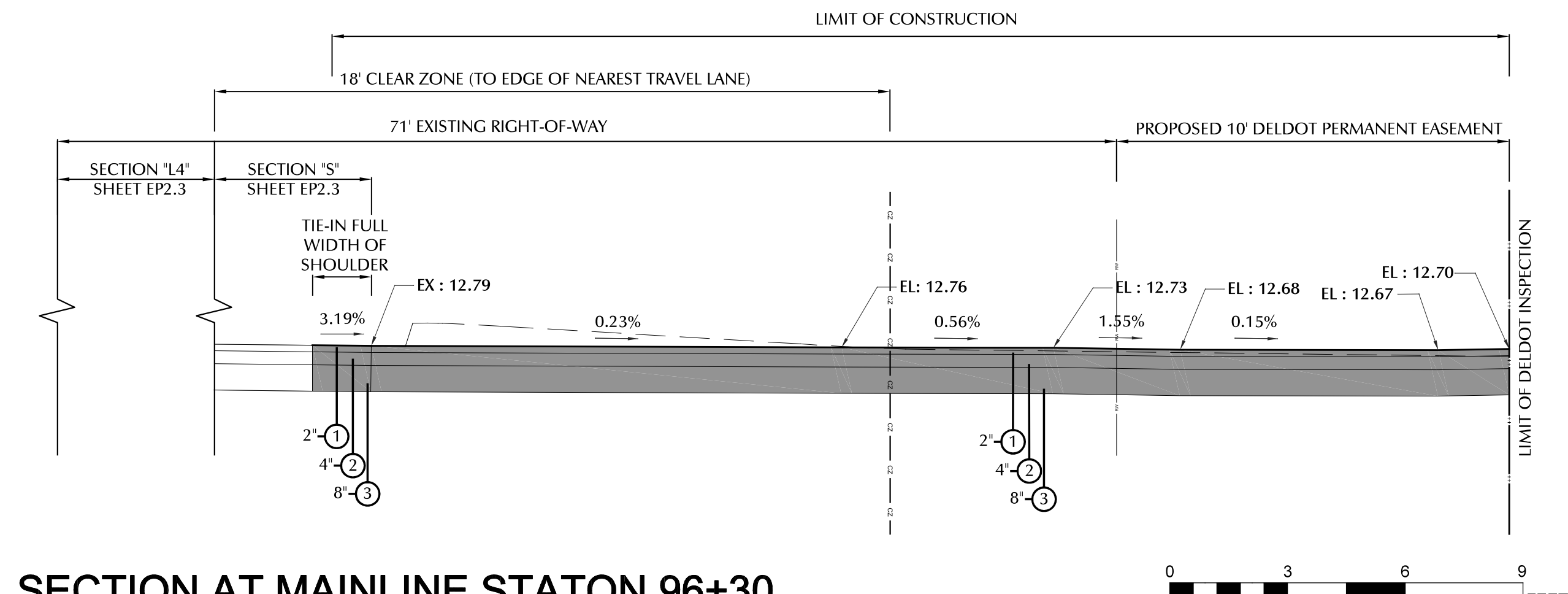
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EP1.1

LEGEND

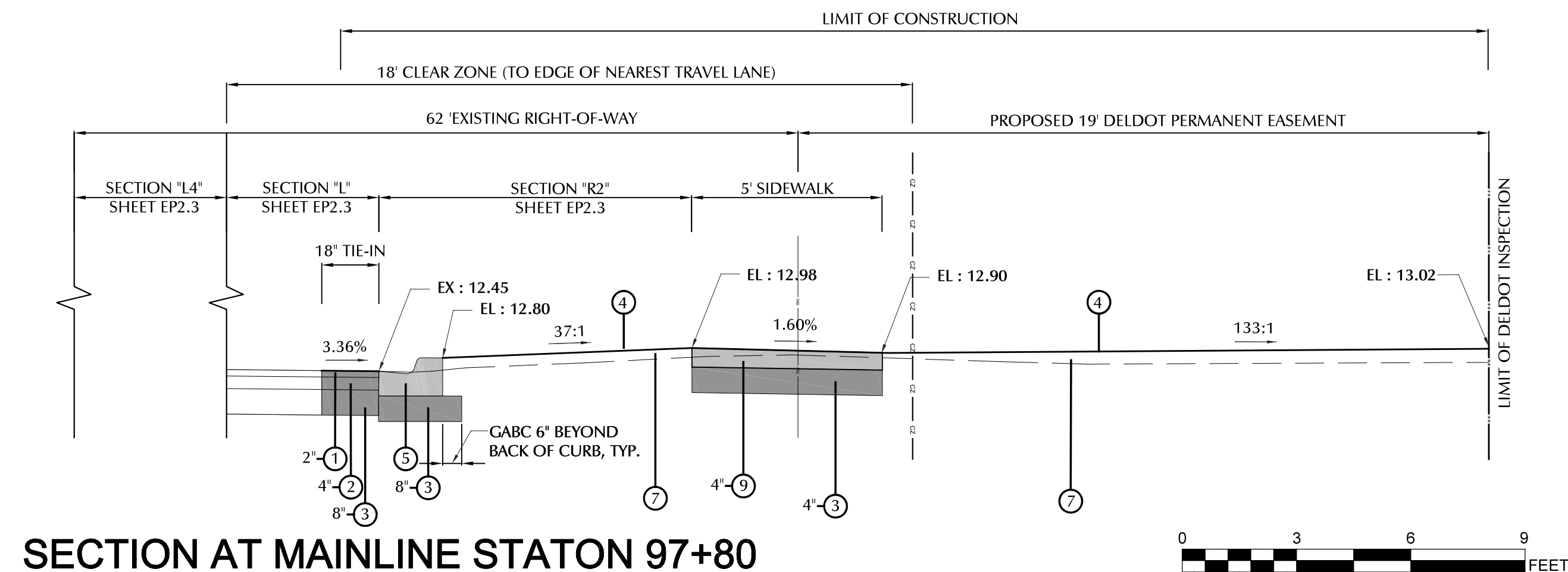
- ① TYPE 'C' BITUMINOUS CONCRETE. ITEM #401005 - SUPERPAVE TYPE C PG 64-22.
- ② TYPE 'B' BITUMINOUS CONCRETE. ITEM #401014 - SUPERPAVE TYPE B PG64-22.
- ③ ITEM #302005 GRADED AGGREGATE BASE
- ④ TOPSOIL (6" DEPTH) PERMANENT GRASS SEEDING, DRY GROUND.
- ⑤ ITEM #701022 P.C.C. CURB, TYPE 3-8
- ⑥ 1 1/4" MILL AND OVERLAY
- ⑦ BORROW
- ⑧ ITEM #701022 P.C.C. CURB, TYPE 3-8 (AT CURB RAMP) C-1(2017) SHT. 1 OF 3. NOTE 3
- ⑨ DELDOT STANDARD DETAIL M-3 FOR CONCRETE SIDEWALK



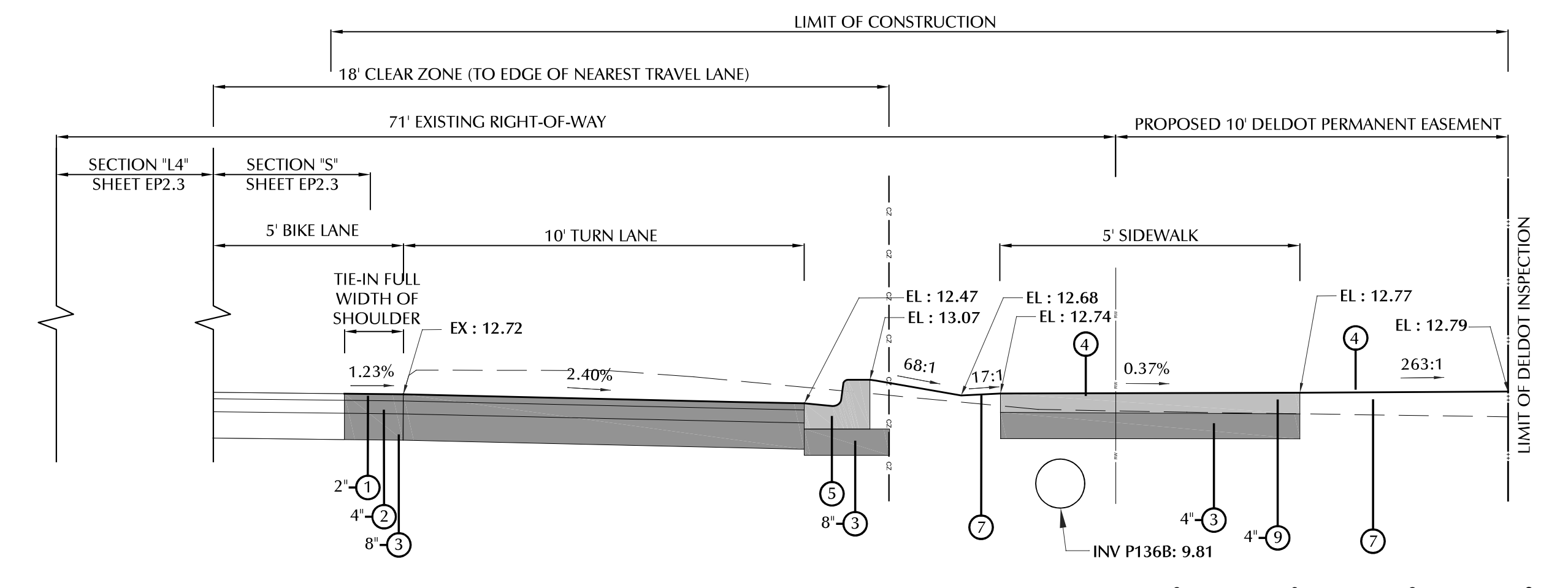
SECTION LOCATION PLAN
1" = 30'



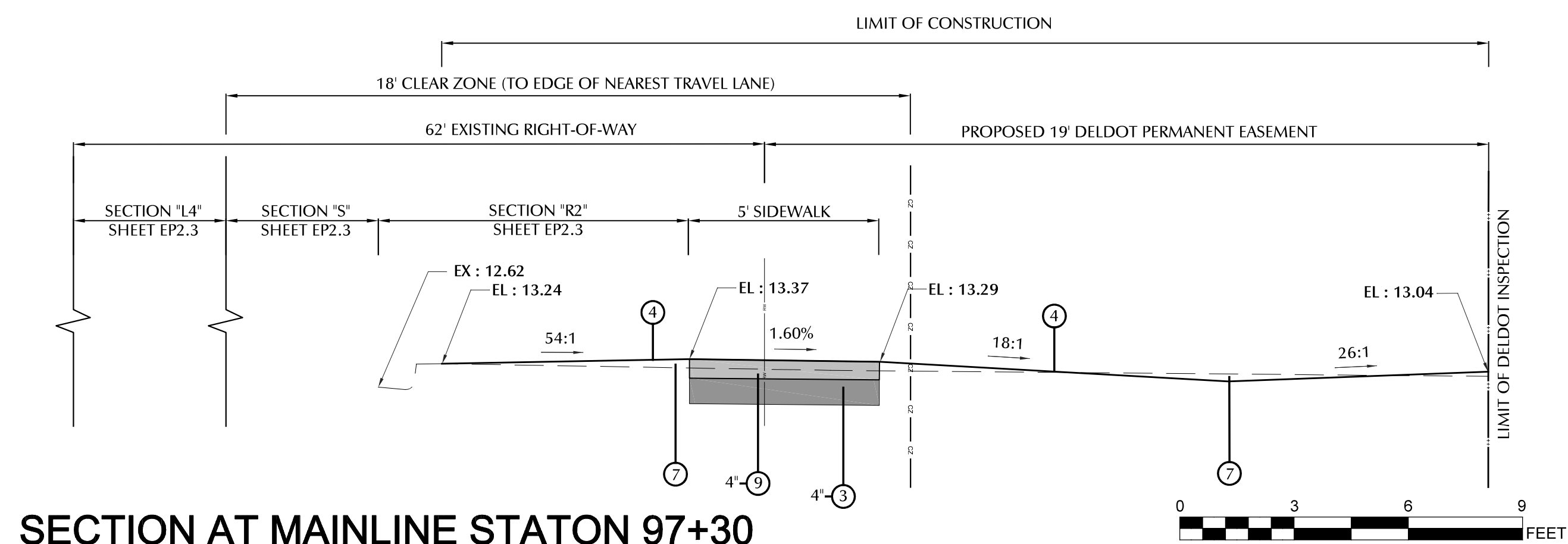
SECTION AT MAINLINE STATION 96+30
1" = 3'



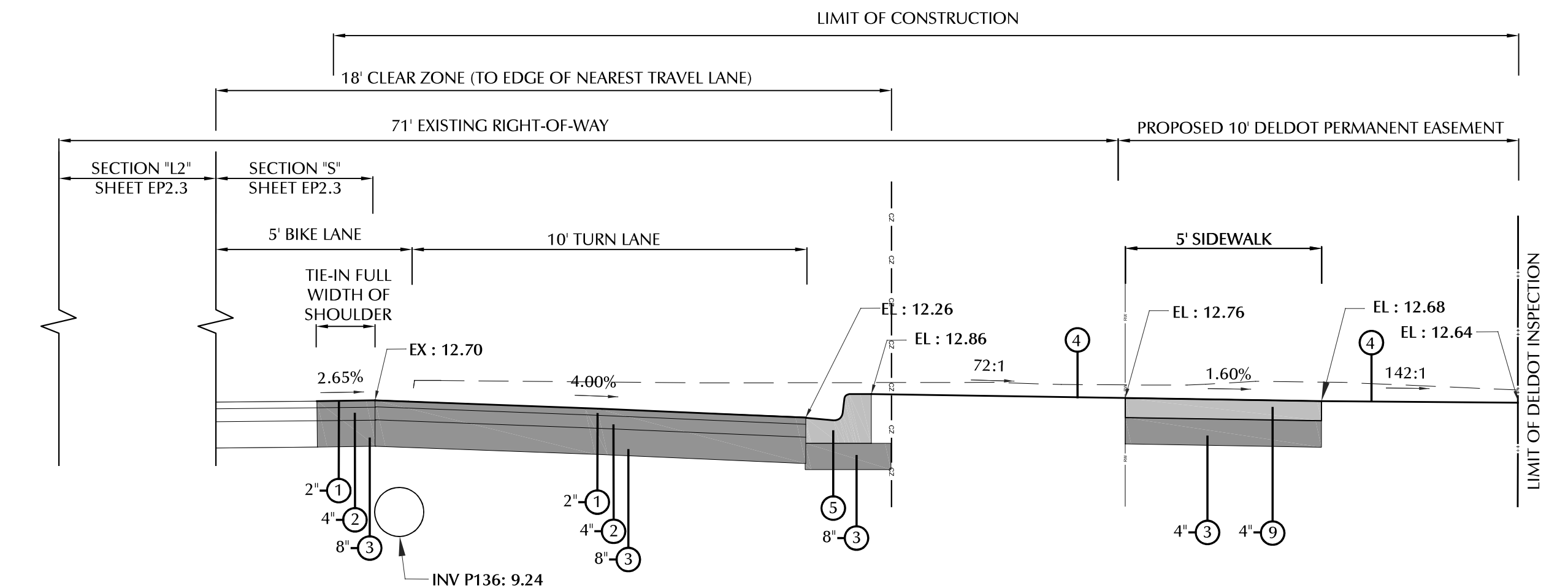
SECTION AT MAINLINE STATION 97+80
1" = 3'



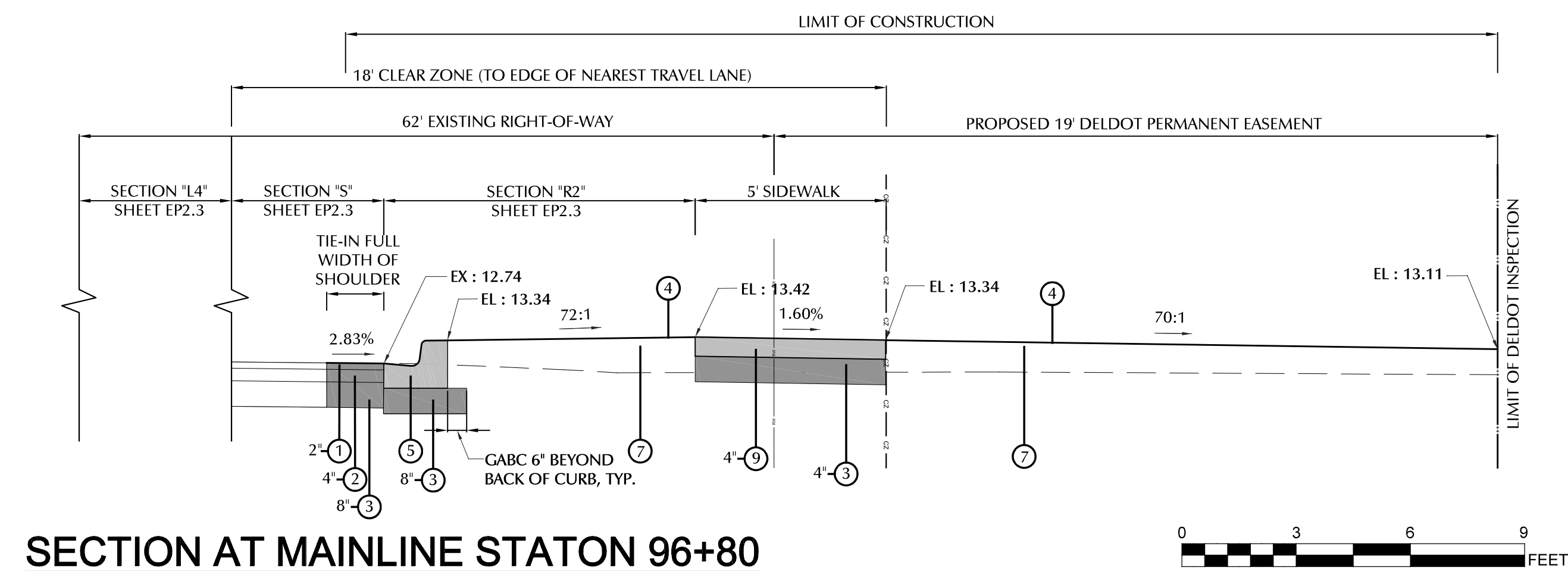
SECTION AT MAINLINE STATION 95+80
1" = 3'



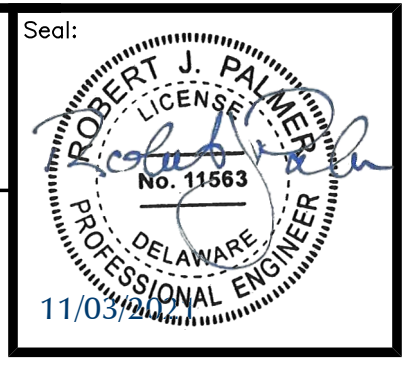
SECTION AT MAINLINE STATION 97+30
1" = 3'



SECTION AT MAINLINE STATION 95+30
1" = 3'



SECTION AT MAINLINE STATION 96+80
1" = 3'



Date:	06/14/19
By:	SKM
Revision:	DELDOT COMMENTS
	SKM 07/17/20
	DELDOT COMMENTS
	SKM 12/07/20
	DELDOT COMMENTS
	SKM 01/11/21
	SUP LIGHTING COORDINATION
	SKM 01/11/21

MILLVILLE SQUARE
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
TOWN OF MILLVILLE, BALTIMORE HUNDRED,
SUSSEX COUNTY, DELAWARE
TAX MAP # 134-12.00-350.00 AND # 134-12.00-351.00
ATLANTIC AVENUE - SR #26
DELDOT ROAD SECTIONS

Date: JUN 07, 2019
Scale: AS SHOWN
Dwn.By: SKM
Proj.No.: TRU01-06

Dwg.: Sheet 04
EP2.1